

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Acknowledgements

In researching and writing an academic work of this scope, I had the assistance of many organizations and individuals. I would particularly like to express my gratitude to the University of Maryland College of Architecture's Historic Preservation Program for accepting me as a student, thereby making this historic structure report possible. The Town of Bladensburg is also deserving of thanks for allowing me the opportunity to live and work at Bostwick. In addition, I want to mention the Bostwick Partners, who convinced me of the need for this document. Individually, I must express my appreciation to Bladensburg's town clerk, Pat McAuley, for all her help. I am also indebted to David Overholt of the National Trust for Historic Preservation, who acted as a sounding board for the technical aspects and recommendations contained in this report. This historic structure report could not have been written without the assistance of my professor and department chair, Donald Linebaugh of the University of Maryland, who not only read the report in its entirety more than once but gave me the encouragement I needed in order to see it

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through until the end. Finally, I want to say thank you to my husband Brian, who moved half-way across the country so that I could go back to school.

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Preface:

Abstract, Research Questions, and Methodology



Preface: Abstract, Research Questions, and Methodology

Abstract

According to the National Park Service, a historic structure report provides “documentary, graphic, and physical information about a property’s history and existing condition.”¹ Historic structure reports are generally written prior to the start of any work on the structure in order to document existing conditions and outline a scope of recommended work. By proceeding in this logical order, historic structure reports can prevent the loss of the historic elements of the building. HSRs also act as a planning document by providing a sequence for the work to be done. Because they contain information on the history of the building being studied, HSRs can serve as an aid to interpretation. Finally, they provide a bibliography of archival material to assist in further study of the structure and its history. This historic structure report for Bostwick is no different. However, since Bostwick is composed of over eight acres and numerous outbuildings, this report will be limited to a study of the main house and kitchen addition.

Chapter One of this historic structure report is an in-depth analysis of why an HSR is critical to preservation efforts at Bostwick. It will include sections that define the HSR, discuss the situation in the town that has led to a

¹ United States Department of the Interior. National Park Service. Technical Preservation Services. “Preservation Brief 43: The Preparation and Use of Historic Structure Reports.” April 2005. <http://www.cr.nps.gov/hps?TPS/briefs/brief43.htm> (accessed on December 27, 2006), 1.

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lack of maintenance of the house, and provide reasons why Bostwick should be preserved. Chapter Two is devoted to the history of Bostwick and the families who owned it. Chapters Three through Eight contain descriptions of both the interior and exterior of Bostwick along with assessments of their conditions. Chapter Nine focuses on possible future uses for Bostwick. Chapter Ten focuses on recommendations for Bostwick that include a scope and sequence for conservation work as well as a short conclusion. The document ends with a thorough bibliography and several appendices.

Research Questions

Since this historic structure report's intended audience includes not only professionals in the fields of preservation and architecture but town officials whose expertise may be in other areas, certain questions need to be answered regarding historic structure reports in general and Bostwick's in particular.

Questions relating to historic structure reports in general and specifically to Bostwick are:

- What does the historic structure report do?
- What doesn't the historic structure report do?
- Why is this type of document needed? Why is it needed at Bostwick?
- Why is an historic structure report considered standard among preservationists?

Questions focused on justifying the importance of preserving Bostwick are:

- Why should Bostwick be preserved?
- Why should it be preserved now rather than at some time in the future?
- What is the significance of Bostwick?

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- Why is the property important to people who are living in the area today?
- Why would the African-American population of Prince George's County be interested in preserving Bostwick?
- What types of people were associated with Bostwick?

Questions relating to the description and conditions assessment of Bostwick include

- How can the exterior of the building be described?
- How can each of the interior areas/rooms be described?
- What is the condition of each of the systems (roof, walls, foundation) that make up the exterior of Bostwick's main house?
- What is the condition of each of the systems that make up the interior of the house at Bostwick?
- What is the condition of the interior decorative elements?

Questions about the restoration and/or repair of Bostwick's main dwelling are:

- What alternative treatments are available? How are they related to future use?
- How can repair issues be prioritized? In other words, what items should be repaired and at what time in order to stabilize the building?
- Should the building be stabilized and then mothballed as one option for treatment?
- What studies need to be done, and when should they be done?

Methodology

To answer my research questions, I reviewed a wealth of primary and secondary sources about Bostwick and the people who lived there—both black and white. Collections in the Maryland State Archives, the Library of Congress, and the National Archives were used in the writing the history found in Chapter Two. In addition,

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secondary sources such as *History Matters*, commissioned by the Anacostia Trails Heritage Area, and other monographs provided much information for compiling Bostwick's history.

Many site visits and observations provided the bulk of the material used for writing Chapters Three and Four on the existing conditions at Bostwick and the recommendations for their repair. In addition, technical works on eighteenth-century architecture and its preservation were invaluable. Finally, I interviewed professionals in the areas of construction and preservation.

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Chapter One:

An HSR for Bostwick



Chapter One: An HSR For Bostwick

Introduction

The fate of Bostwick, a mid-eighteenth-century home in Maryland's Prince George's County, hangs in the balance. Its owner, the town of Bladensburg, must begin the preservation process soon, or the house will continue to deteriorate, a course leading to demolition by neglect.

The Historic Structure Report: A Definition and Explanation

The National Park Service states that the historic structure report (HSR) "provides documentary, graphic, and physical information about a property's history and existing condition."¹ The Park Service also writes that HSRs are "prepared to minimize loss of character-defining features and materials."² Generally written prior to the beginning of any work, historic structure reports document the existing conditions of a building, outline a scope of recommended work, and provide a guide for any changes made to a historic property during the preservation process. In other words, the HSR is written to provide documentation about a historic property in order to understand and preserve its character-defining elements.

¹ United States Department of the Interior. National Park Service. Technical Preservation Services. "Preservation Brief 43: The Preparation and Use of Historic Structure Reports." April 2005. <http://www.cr.nps.gov/hps/TPS/briefs/brief43.htm> (accessed on December 27, 2006).

² United States Department of the Interior. National Park Service. Denver Service Center. "Glossary." http://workflow.den.nps.gov/staging/9_Glossary/glossary_h.htm (accessed December 27, 2006).

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Since the first historic structure report was written for the Park Service in the early 1930s, the HSR has become the standard and essential tool for those involved in preserving historic structures.³ As a tool, HSRs provide the documentation of a structure's history and development over time that is needed before work can begin. They also provide a close examination of existing conditions. Finally, they make recommendations regarding future treatment. Without the information provided in the HSR, valuable historic material could be lost in the name of stabilization and preservation.⁴

Historic structure reports are valuable in other ways. They can act as the primary planning document for decisions about preservation treatments for the resource. Because they contain a list of recommended action items, they are of assistance in the budgeting and scheduling of actual work on historic structures. They provide an accessible reference document for the owners, professionals, and others who work on or use the historic structure. HSRs also serve as a tool for the interpretation of a structure based on historical and physical evidence.

³ Randall J. Bialas. "Evolution of Historic Structure Reports." *CRM Bulletin: A Technical Bulletin for Parks, Federal Agencies, States, Local Governments, and the Private Sector*. Vol. 13: no. 4, 1990.

⁴ *Preservation Brief 43*, 4.

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They typically provide a bibliography of archival documentation relevant to the structure and can act as a resource for further research and investigation. Finally, they can provide a record of completed work.⁵

Bostwick and the Town of Bladensburg

The causes of Bostwick's currently dire circumstances can be grouped into three categories: a deficiency in funding for conservation projects, a general lack of expertise in conservation and construction practices, and the effects of time and topography on the structure.

Located inside Washington, DC's beltway, Bladensburg is a town just one square mile in size. This relatively small area includes a shopping strip along Maryland Route 450 that contains two small park-and-shop centers along with other lesser commercial and retail establishments. There is also an industrial/warehouse area that lies on either side of Route 450 along the Anacostia River. The remainder of the town consists of low-rise apartment buildings and small single-family houses dating to the middle decades of the twentieth century (figure 1-1 and 1-2).

⁵ Ibid.

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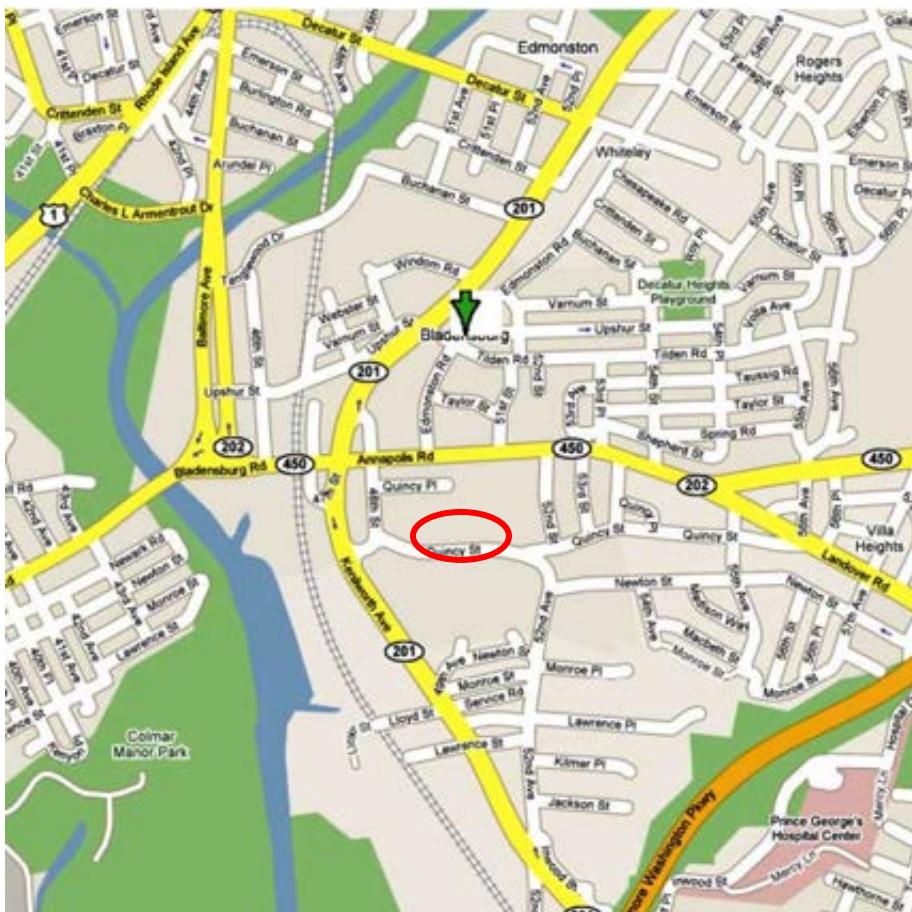


Figure 1-1. Map of the town of Bladensburg. Bostwick is circled in red. The green arrow points to Bladensburg's town hall.⁶

⁶ Google Maps. Bladensburg, MD. <http://maps.google.com/maps?ie=UTF-8&oe=UTF-8&hl=en&tab=wl&q=> (accessed on May 4, 2007).

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Figure 1-2. Aerial view of Bladensburg. The town has multiple types of development but is very small in size.⁷

⁷ Ibid.

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Because of its small size and low tax base, Bladensburg's ability to fund preservation efforts at Bostwick is limited. Town staff has made gallant efforts to secure grant funding. While over one-half million dollars in such funding has been obtained, it has largely been limited to purposes like archeological reports, structural assessments, feasibility studies, and improving access to the property. The town has received little funding for conservation projects that does not require local matching dollars. Since the town purchased the property in 1997, it has rebuilt a large section of the roof on the main barn, made structural repairs to the bank barn and main house, replaced the gutters and downspouts on the main house, and done routine lawn maintenance. Town officials have made repeated visits to the site to observe the deteriorating conditions. Yet, the needs of the town's citizens are great, and the town's funds are limited. Time and time again, the town council has made the choice to fund other urgent needs while not including any funds for Bostwick in its budget. Meanwhile, conditions at Bostwick have continued to worsen.

Further complicating the situation, the town has no personnel trained in historic preservation and building conservation. This means that urgent needs are often not addressed in a timely manner, thus leading to further deterioration of the structures. Additionally, the town has no employee with the expertise to prioritize the essential repairs that Bostwick's multiple historic structures require. While members of the Bostwick Partners, a volunteer

Chapter One: An HSR For Bostwick

advisory group, are educated in architecture and historic preservation, the group has seldom made formal written recommendations to the mayor and town council concerning what should be done to slow the decline of the buildings and landscape at Bostwick. When members have appeared before the council, their requests for funding for Bostwick have been largely disregarded.

The effects of time and topography continue to wreak havoc on Bostwick's historic structures. In 1990, the Historic American Buildings Survey (HABS) photographed the interior and exterior of the main house at Bostwick as well as its outbuildings. A comparison of these photographs with ones taken recently shows that a significant amount of deterioration has taken place. This comparison reveals damage to both the structure and interior finishes of the main house caused by lack of maintenance, water infiltration, and settling. Damage to the exterior envelope of the major outbuildings can also be seen when the 1990 photographs are compared with recent ones. The damage that results from the passage of time calls for a cyclical maintenance plan costing approximately \$100,000 per year, but the town council has not adopted such a plan. The sloping topography of Bostwick's site combined with water run-off from the hill behind the main house has resulted in the continued settling of the south wall of the main house. Despite repeated efforts, beginning in the early nineteenth century, to counteract this

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settling with the construction of a series of buttresses on the south side of the house and the addition of star bracing, signs of continued settling persist.

Preserving Bostwick

Notwithstanding its lack of funding and deteriorated condition, Bostwick should be preserved. The main house, outbuildings, and grounds together represent an important cultural landscape. The Cultural Landscape Foundation defines a cultural landscape as “a geographic area that includes cultural and natural resources associated with an historic event, activity, person, or group of people. . .[that are] narratives of cultures and expressions of regional identity.”⁸ Bostwick has been a part of the local landscape since it was constructed in 1746. It has not only been a home to the powerful and wealthy, it has been a workplace and homeplace for the slaves, indentured servants, and other common folk who labored there. It serves as one of the last remaining records of how these workers used their skills to shape the landscape of Bladensburg.

Preserving Bostwick, its outbuildings, and its landscape will allow it to function as a record of how a geographically small estate changes over time. From the construction of the house in 1746 to its purchase by the town in 1997, the main house has undergone expansion, outbuildings have been lost and added, and the acreage

⁸ The Cultural Landscape Foundation. *Cultural Landscapes Defined*. 1999-2005. <http://www.tclf.org/whatis.htm> (accessed on April 10, 2007).

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has changed. These changes reveal the transformation in architectural fashion and function over time as well as demonstrating how technology transformed the way buildings were constructed. For instance, the eighteenth-century scribe rule construction in the attic of the main house can be studied in conjunction with the balloon framing found in the twentieth-century garage and the braced frame construction of the main stable to provide a mini-history of building techniques over two-and-a-half centuries of history.

Unlike most of the other preserved historic homes in Prince George's County, Bostwick was a relatively small estate. Distinct from nearby plantation houses like Belair, Marietta, and Riverdale that had hundreds and even thousands of acres of adjoining land, Bostwick was never larger than its current eight and a half acres. Home to merchants, government officials, and businessmen who used its close proximity to Washington, DC, to engage in commerce and government work, it was also a home and workplace for the laborers who provided the manpower for its construction and upkeep. The preservation of Bostwick would provide further insight into how these groups of people lived and worked in small towns in Prince George's County.

Before preservation of the site can begin, however, there is a need to document the site to provide baseline data on the structures' construction and condition. If the structures are allowed to deteriorate until they ultimately collapse, this documentation would be essential to future researchers as a record of the history and existing

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conditions of the site. If a way is found to stabilize and preserve the structures, the documentation would be critical to maintaining the historical elements within the structures and landscape. The standard approach to providing this documentation is through a historic structure report.

Bostwick's Historic Structure Report

Historic structure reports are usually written for individual structures and or sites that have been designated as historically or architecturally significant, particularly those that are open to the public. While the benefits of these reports to all historic structures are many, Bostwick is in particular need of such a document. Since the town lacks personnel with expertise in historic preservation and building conservation, the HSR provides Bladensburg with an efficient planning tool that gives a scope and sequence of the work needed on the structure. An HSR for Bostwick would help to ensure that the history, significance, and condition of the property are thoroughly understood and considered when a treatment approach is selected. Since one of the goals of any HSR is to reduce the loss of historic fabric, Bostwick's HSR would assist the small, local contractors often employed by Bladensburg to identify and preserve valuable historic materials.¹

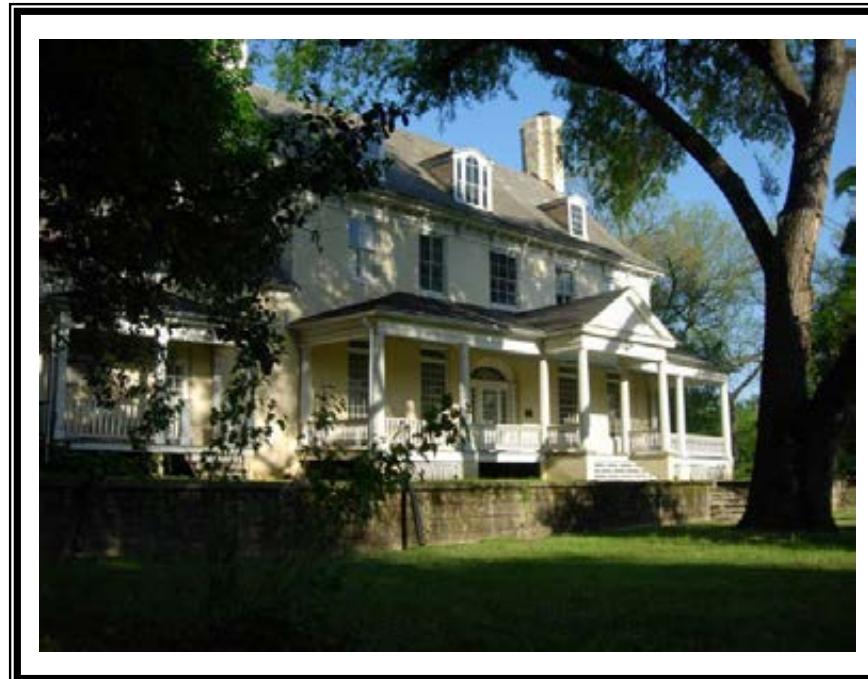
¹ Ibid.

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Two:

Bostwick's History



Building at Risk

Introduction

In the seventeenth century the land surrounding Bostwick was occupied by the Piscataway Indians and a small number of European settlers. One settler in the area, Ninian Beall, had earned his passage to Maryland as an indentured servant. When he gained his freedom in 1677, he was given a parcel of land in what was known as the Terrapin thicket, now in New Carrollton. At the time of his death in 1717, he owned thousands of acres that extended from Upper Marlboro to Georgetown then still part of Prince George's County. The land later came into the possession of a descendant, Elizabeth Calvert, who renamed it Garrison. The river landing that served the tract became known as Garrison's Landing.¹

The Founding of Bladensburg

In 1742 the General Assembly of Maryland passed an act "for laying out and erecting a town on the South Side of the Eastern Branch of Potowmack River in Prince George's County near a place called Garrison's

¹ Port Towns Community Development Corporation. "Town of Bladensburg, Maryland: Bladensburg History." <http://www.porttowns.com/blad/bbhist.htm> (accessed October 18, 2004) copy from the files of the Town of Bladensburg, Maryland.

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Landing”² The site consisted of sixty acres to be divided into one-acre lots with prices ranging from two shillings and sixpence to £2 10s.³ Development of the town of Bladensburg began slowly. Each purchaser of a lot had to agree to build a house of at least 400 square feet with a brick or stone chimney within eighteen months or forfeit his lot. In 1744 the Assembly extended this deadline by two years and allowed lot owners to build a 400-square-foot warehouse or house in order to secure title to the lot. Other extensions were given until 1787 when all of the lots had been approved.⁴

² Maryland State Archives. Bacon’s Laws Chapter 13. “An Act for Laying Out and Erecting a Town.” Lib. B.L.C. Folio 254. September 1742.

³ Maryland State Archives. Susanna Kyner Christophane Papers. “Historical Chronology of the Town of Bladensburg.”

⁴ Maryland Humanities Council. *History Matters!: Interpretive Plan for the Anacostia Trails Heritage Area*. “Chapter Two: Northern Prince George’s County in the Tobacco Era, 1696-1780.” By Stephen G. Hardy. February 12, 2003. <http://www.mdhc.org/resources/ATHAreportpart2of6.pdf> (accessed December 29, 2006), 44.

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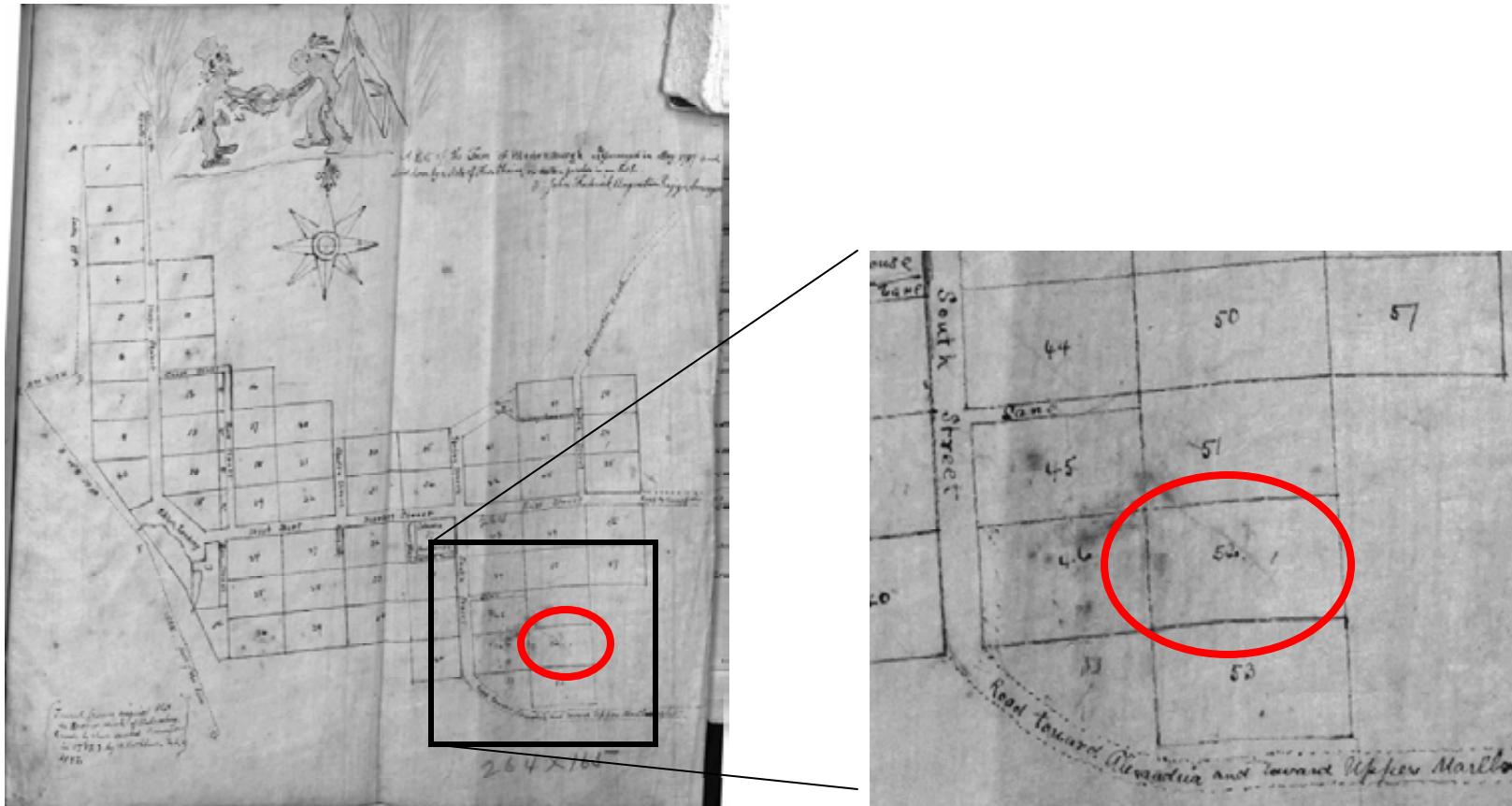


Figure 2-1. Plat map of Bladensburg, 1787. Christopher Lowndes purchased Lot 52 circled in red.⁵

⁵ Maryland State Archives. Town Records of Bladensburg, Maryland. 1742-1748.

Chapter Two: Bostwick's History

Period I: The Lowndes Era

In June of 1746, only eighteen of the lots had been improved in accordance with the act's requirements. One of the improved lots belonged to Christopher Lowndes, a prominent citizen of Bladensburg. Lowndes had come to Maryland in 1738 as a factor for Liverpool merchants Henry and Edward Trafford. He soon established his own company, which imported spices, building supplies, and dry goods. He also owned a shipyard where ocean-going vessels were constructed.⁶ In 1755, he built a ropewalk in Bladensburg near the Anacostia River to manufacture rope products for his shipping interests. This ropewalk provided much of the cordage for Maryland's navy during the Revolutionary War. With his brother-in-law, Benjamin Tasker, Jr., Lowndes also imported slaves and sold them in Annapolis⁷ and perhaps even in Bladensburg.⁸ It is no wonder that historian Alan Kulikoff described Lowndes as the richest man in Prince George's County.⁹

⁶ United States Department of the Interior. National Park Service. National Register of Historic Places Inventory Nomination Form. "Bostwick." By Christopher Owens. September 16, 2004

⁷ Slave Advertisement. *The Maryland Gazette*. Belair Archives, Bowie, MD.

⁸ National Register Nomination Form.

⁹ Allan Kulikoff. *Tobacco and Slaves: The Development of Southern Cultures in the Chesapeake, 1680-1800*. (Charlotte: The University of North Carolina Press, 1988), 266.

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Figure 2-2. Slave advertisement. This ad from partners Benjamin Tasker and Christopher Lowndes appeared in the *Maryland Gazette*.¹⁰

The town of Bladensburg recorded the sale of lot number fifty-two to Christopher Lowndes in 1742, and he later acquired lots fifty-three, forty-six, and sixteen. By the time the Bladensburg town commissioners inspected the Lowndes lot in June of 1746, Bostwick was completed.¹¹ Constructed on the slopes of Lowndes Hill, Bostwick had a fine view overlooking the river, town, and port below and served as a grand display of Lowndes' wealth and

¹⁰ "Just Imported" *Maryland Gazette*. Belair Archives, Bowie, MD. It reads, "Just imported in the *Elijah*, Capt. James Lowe directly from the coast of Africa. A parcel of healthy slaves consisting of Men, Women, and Children, and will be disposed of on board the said Vessel in the Severn River on Thursday the 4th day of June for Sterling Money, Bills of Exchange, Gold, or Paper Currency. Benjamin Tasker, junior. Christopher Lowndes."

¹¹ Maryland State Archives. Town Records of Bladensburg, Maryland. 1742-1748.

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status.¹² At this time, Bostwick consisted of only the massive main block without the south buttresses, colonial revival porches, and north kitchen addition that are evident today. The house was built in an early Georgian style with southern post medieval influences such as its flaring, gable-end roof, and ornamental chimney details. According to the Historic American Buildings Survey, the house once had a single-story, brick pavilion front entry.¹³



Figure 2-3. Portrait of Elizabeth Tasker Lowndes by John Wollaston.¹⁴

¹² ATHA. "Chapter 2." 48.

¹³ United States Department of the Interior. National Park Service. Historic American Buildings Survey. "Bostwick Hall: Christopher Lowndes House." HABS number: MD-615, 17-BLAD, 2-3.

¹⁴John Wollaston. Elizabeth Tasker Lowndes. Oil on canvas, circa 1754. <http://ogleandalliedfamiliesofmaryland.com> (accessed on August 4, 2006).

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With his house complete, Lowndes married Elizabeth Tasker, daughter of one royal governor, sister, and sister-in-law of others, with whom he had nine children.¹⁵ Until his death Lowndes remained active in commerce and government. Advertisements in the *Maryland Gazette* present a picture of Lowndes' commercial activities, including those for the sale of rope products from his ropewalk, for seaman for his ship the *Hawke*, for cargo space on his vessels, for contracting a tobacco warehouse, and for African American and convict slaves. He also served the Bladensburg community as a town commissioner and as its first postmaster. During the Revolutionary War, Lowndes' ropewalks provided cordage products for Maryland's infant navy.¹⁶ Upon his death in 1785, Lowndes' obituary described him as "a Gentleman remarkable for the liberality of his Mind, and for his great Probity, Hospitality and Benevolence."¹⁷ At the time of his death, Lowndes' estate was inventoried in accordance with existing laws. The inventory, valued at £8,840 7s. 6d. (worth over \$500 million today if calculated as a percentage of the gross national product), lists the names of thirty-seven slaves, ten horses, other livestock, the contents of his

¹⁵ Baltz, Shirley. *Belair from the Beginning*. Bowie, MD: City of Bowie, 2005. Baltz relates that Anne and Elizabeth Tasker were the daughters of Benjamin Tasker, Sr. who was appointed Provincial Governor of Maryland by Charles Calvert, fifth Baron Baltimore in 1732.

¹⁶ "Historical Chronology of the Town of Bladensburg."

¹⁷ *Pennsylvania Gazette*. January 21, 1785. Belair Archives, Bowie, MD.

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mercantile store, and myriad household goods and furniture. Just before her death on August 15, 1789, Elizabeth Lowndes commissioned seven miniatures of herself to give to her children. The artist was Charles Wilson Peale who had been ill throughout his stay at Bostwick. Elizabeth Lowndes died on August 19, 1789.¹⁸

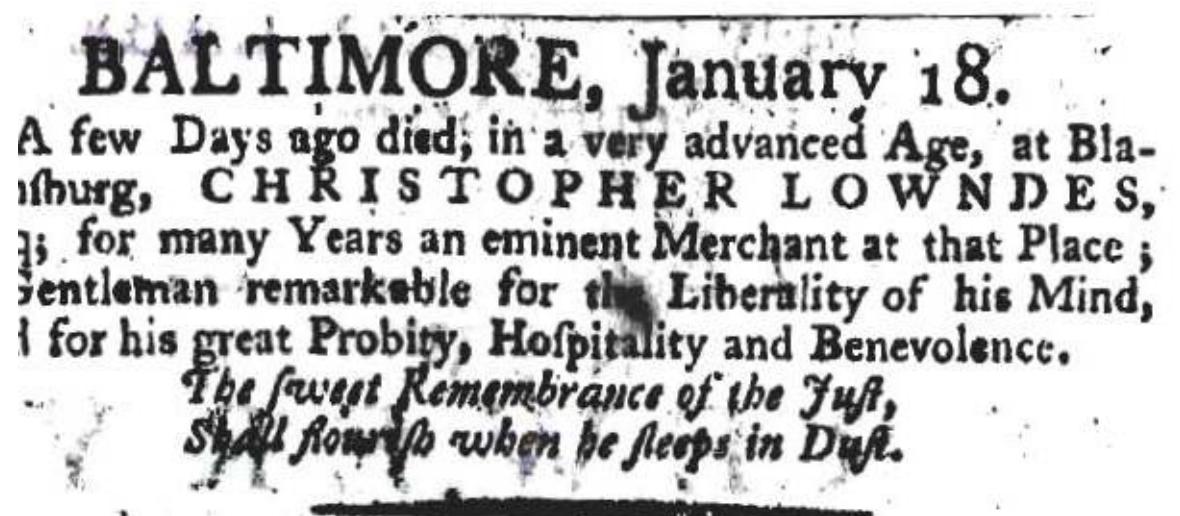


Figure 2-4. Christopher Lowndes' obituary as it appeared in the *Maryland Journal*.¹⁹

¹⁸ American Philosophical Society. Charles Wilson Peale Diaries. Diary X. August 14-20, 1789.

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Period II: The Stoddert Era

After the death of Christopher and Elizabeth Lowndes, Bostwick became the property of their daughter Rebecca who had married Benjamin Stoddert in 1781. Her correspondence reveals her concern with family matters, especially her children.²⁰ Stoddert had served as a captain in the Revolutionary War and was at the time a partner in the firm of Forrest, Stoddert, & Murdock of Georgetown, Maryland, which was involved in the tobacco trade. In 1798, Stoddert was appointed the first Secretary of the Navy by President John Adams and served in that position throughout Adams' term.²¹

¹⁹ [Mortuary Notice]. *Maryland Journal*. Volume Number XII, Issue 5, Page 2, January 18, 1785. http://infoweb.newsbank.com/iw-search/we/HistArchive?p_action=doc&s_lastnonissue... (accessed on August 17, 2006).

²⁰ Library of Congress. The Papers of Rebecca Lowndes Stoddert.

²¹ Richardson, James D. *A Compilation of the Messages and Papers of the Presidents*. January 31, 2004. <http://www.gutenberg.org/dirs/1/0/8/9/10894/10894.txt> (accessed on April 18, 2007).

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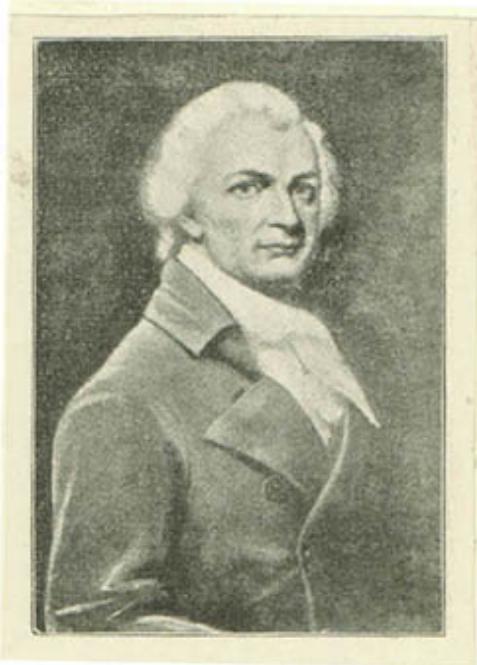


Figure 2-5. Benjamin Stoddert.²²

In 1800, Bostwick was rented to the Henri Stier family while their house at nearby Riverdale was being constructed.²³ In her extensive correspondence, Rosalie Stier Calvert wrote of Bostwick that “. . .neither the doors

²² Biographies in Naval History. “Benjamin Stoddert (1751-1813): First Secretary of the Navy.” August 11, 2004. <http://www.history.navy.mil/bios/stoddert.htm> (accessed on March 22, 2007).

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nor the windows close properly and when it is cold we freeze!"²⁴ She was anxious to leave Bostwick, which was "plagued by rats" and where she often caught colds.²⁵

Following the Stier's residency, Benjamin and Rebecca Stoddert left Georgetown and moved into Bostwick where they lived the remainder of their lives. The Stodderts made a number of changes to Bostwick upon their arrival. They added the north kitchen wing with a large cooking area downstairs and two rooms above.²⁶ In an attempt to secure and stabilize the south wall of the main house, they added the large, vaulted buttress. Stoddert is reputed to have written that the buttress also provided holding cells for unruly slaves.²⁷ Although Rebecca Lowndes Stoddert died in 1809 and Benjamin Stoddert in 1813,²⁸ the property was not sold until 1822.

²³ Callcott, Margaret Law,ed. *Mistress of Riverdale: The Plantation Letters of Rosalie Stier Calvert, 1795-1821*. (Baltimore: The Johns Hopkins University Press, 1991), 25.

²⁴ Ibid., 31.

²⁵ Ibid., 33.

²⁶ Susan Perl. "Bostwick Chronology." Town of Bladensburg Archives.

²⁷ HABS, 4.

²⁸ Maryland Tombstone Transcription Project. Addison Chapel Cemetery of Seat Pleasant, MD. March 14, 2005. <http://ftp.rootsweb.com/pub/usgenweb/md/princegeorge/cemeteries/addison.txt> (accessed on April 2, 2007).

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During the War of 1812, Bostwick was rented to Colonel Thomas Barclay, the British officer who was charged with the care and exchange of British prisoners in the United States²⁹ and so played a role in the now infamous Battle of Bladensburg known as the “Bladensburg Races.” Barclay refused to leave Bostwick and was escorted by American troops to nearby Frederick, Maryland. The battle itself took place around noon on August 24, 1814, near the bridge over the East Branch of the Potomac River, now called the Anacostia River, in the area that became Fort Lincoln Cemetery.

²⁹ Ralph Robinson. “The Treatment of Prisoners in the War of 1812.” *The American Historical Review*, Vol. 48, no. 1 (October 1943), 67-68.

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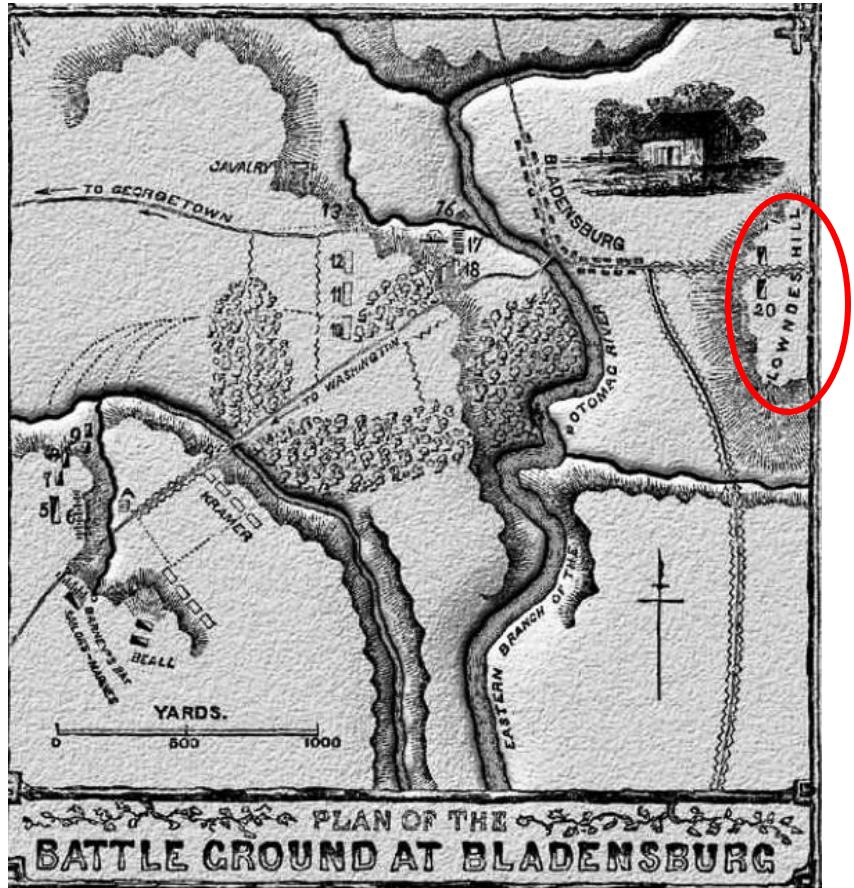


Figure 2-6. Map of Bladensburg in the War of 1812. Bostwick sits atop Lowndes Hill, circled in red.³⁰

³⁰ Benson J. Lossing. Benson J. Lossing. *Pictorial Field-Book of the War of 1812*. "Chapter XXXIX: The Capture of Washington City." New York: Harper, 1868. From <http://freepages.history.rootsweb.com/~wcarr1/Lossing2?Chap39.html> (accessed on February 24, 2007).

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The bridge at Bladensburg was defended by a coterie of Marines under the command of Commodore Joshua Barney and Maryland militia under the direction of Brigadier General William H. Winder. The battle featured a rare appearance of a sitting President in his role of commander-in-chief. As the fighting began, President Madison turned to Secretary of State James Monroe and Secretary of War John Armstrong and advised that “it would be now proper for us to retire to the rear, leaving the military movement to military men.”³¹

Because the untried Maryland militia ran away when confronted by the seasoned British force, Commodore Barney’s Marines were left to fight alone in a position about a mile above the bridge over the East Branch of the Potomac (Anacostia River). The British hurled noisy Congreve rockets at the Americans, who returned their fire with heavy guns. The British were driven back and forced to take shelter behind Lowndes Hill where Bostwick sits. After regrouping, the British moved to push across the bridge. When the Marines’ ammunition could not be restocked because the drivers of the supply wagons had fled with their wagons to Washington, the marines retreated, thus allowing the British to march on Washington. The Americans casualties included twenty-six killed and fifty-one wounded. The British losses were far greater—over five hundred killed and wounded.³²

³¹ Walter R. Bornman. *1812: The War That Forged a Nation*. (New York: Harper Perennial, 2004), 227.

³² Ibid., 226-229. Also Benson J. Lossing. *Pictorial Field-Book of the War of 1812*.

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Figure 2-7. Bladensburg in 1814 looking south.³³

³³ Ibid.

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Surprisingly, Bostwick was not harmed—likely due to its role as the residence of the British prisoner of war commissioner. While the Battle of Bladensburg was a horrible defeat for the Americans, it gave time for the city of Washington to be evacuated and important government papers to be saved, including the original Declaration of Independence.

Period III: The Stephen-Dieu Donne Era

In 1822, Judge John Stephen, a lawyer and member of the Governor's Council, purchased Bostwick. Prior to this purchase of Bostwick, he was U.S. District Attorney for the state of Maryland and performed as a presidential elector from 1812-1820. He served as a judge on the Maryland Court of Appeals between 1822 and the time of his death in 1844. Tradition holds that Judge Stephen entertained the Marquis de Lafayette at Bostwick during his farewell trip to the United States but there is little documentation to support Lafayette's presence at Stephen's home.³⁴ Bostwick remained in the family after Stephen's death and was inherited by his son, Nicholas

³⁴ National Register Nomination Form.

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Carroll Stephen.³⁵ In the census of 1850, Nicolas Stephen is listed as owning seventeen slaves ranging from new babies not yet a year old to one male slave who was 75.³⁶

Stephen must have watched anxiously as the events leading to the Civil War unfolded. At the onset of the war, worried federal officials in Washington viewed Maryland with concern. If Maryland left the Union, the federal capital would be surrounded by Confederate states. President Lincoln took quick action and sent federal troops into Annapolis and Baltimore, thus saving Maryland for the Union. In Prince George's County, there was great sympathy for the Southern cause. The county had a plantation economy focused on tobacco, and more than half of its population was enslaved. In the Presidential election, Abraham Lincoln received only one vote in all of Prince George's County. Yet, the county continued to support Unionist candidates for Congress. During the War, Bladensburg was home to Camp Union where federal troops drilled prior to joining Sickles' Brigade at Port Tobacco.

Warren Handel Cudworth, who wrote the *History of the First Massachusetts Infantry* in 1866, wrote of Bladensburg, "Most of its inhabitants were loyal to the Union, although not so outspoken, on account of threats and

³⁵ HABS, 4.

³⁶ United States Census, 1850. Schedule 2: Slave Inhabitants in Bladensburg in the County of Prince Georges, State of Maryland.

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insults from secessionists, as they would have been in New England.³⁷ When slavery was abolished in the District of Columbia in 1862, many of the slaves in Prince George's County fled there to freedom. A new state constitution adopted by Maryland freed the slaves on January 1, 1865, and marked the end of the plantation system.³⁸

³⁷ Prince George's County Tricentennial. *Prince George's County: Over 300 Years of History.* "Civil War." <http://www.pghistory.org/PG/PG300/civilwar.html> (accessed on March 11, 2007).

³⁸ Ibid.

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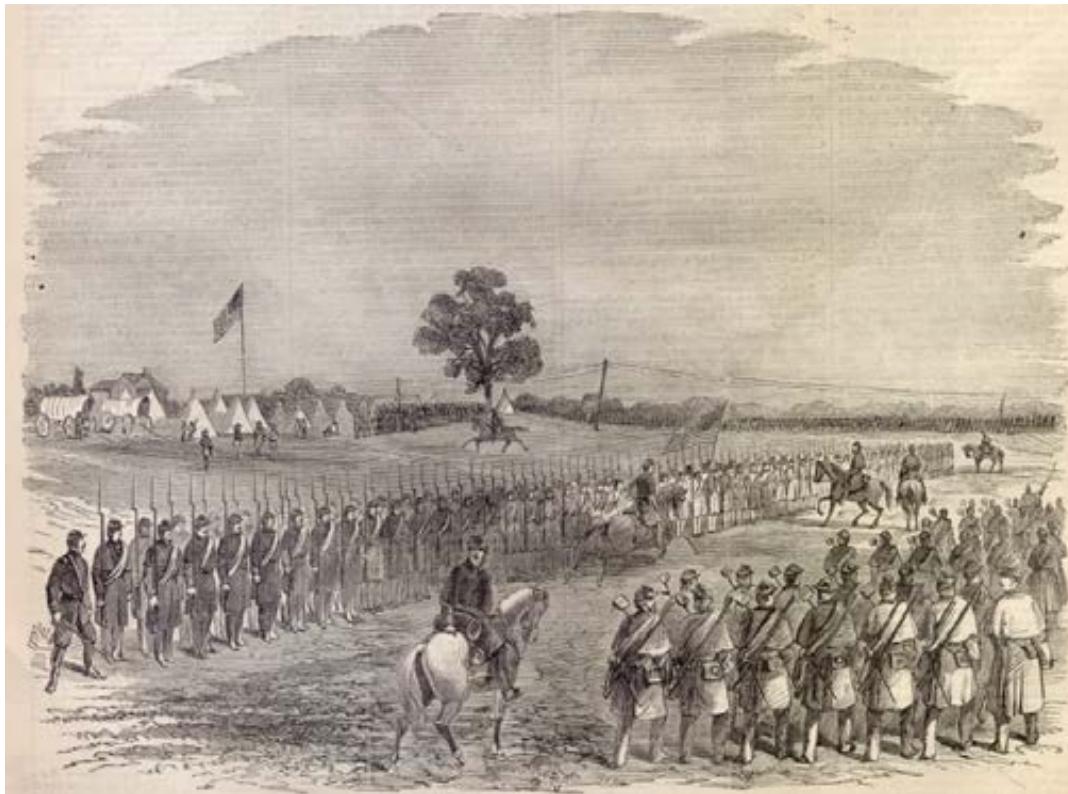


Figure 2-8. Federal forces drill at Camp Union in Bladensburg.³⁹

³⁹ *Civil War Harper's Weekly*. November 23, 1861. <http://www.sonofthesouth.net/leefoundation/civil-war/1861/november/bladensburg-maryland.htm> (accessed On February 24, 2007). The photograph's caption reads, "Departure of troops from Camp Union at Bladensburg, Maryland, to join Sickles's brigade at Port Tobacco, November 3."

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Both John and Nicholas Stephen made changes to Bostwick during their tenure. The dormers in the attic may have been added during their residency since an examination of the lumber and nails indicate an early to mid-nineteenth-century time period. The colonial stairway was replaced with one more in keeping with Victorian tastes, the Victorian section between the second and attic floors of the main house still remains. In addition, some of Bostwick's agricultural buildings date to this time period. The Stephens also added the decorative cornice brackets to the exterior of the main house and built a one-story, hipped-roof porch across its rear elevation.⁴⁰

Juliana Stephen Dieudonne inherited Bostwick from her father Nicholas Stephen when he died in 1881. She was married to Jules Dieudonne, a minor artist who painted the two panels in the large south parlor. The paintings are romantic landscapes typical of the period. Others are said to be covered with wallpaper. The couple defaulted on their mortgage and lost the property in 1891.⁴¹

⁴⁰ "Bostwick Chronology."

⁴¹ National Register Nomination Form.

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Period IV: The Kyner-Cristophane Era

In 1904, Mr. and Mrs. James A. Kyner purchased Bostwick. Kyner was a Civil War veteran, during which he lost a leg.⁴² Described as an adventurous man, Kyner made his fortune in railroading, lost it in mine speculation, and made it again in railroading in the Western states. He specialized in determining the particular needs for new railroad lines and estimating the costs. From his trips to the West, he brought back the deer, mountain goat, and elk heads that are still mounted on the walls of Bostwick. After the deaths of the Kyners, their only child, Susanna, inherited Bostwick.⁴³ She was married to Felix Cristophane.

The Kyners made many changes to the house at Bostwick in the early 1900s. They chose colonial revival ornamentation, which is most visible in the large porch which runs the length of the front or western façade. To add this porch, they removed the brick pilasters and quoins that dated to the construction of the house. They also added the larger windows in the front of the first story and the Palladian window to the rear, and enhanced the exterior by building the upper terrace and retaining wall on the south facade, covering the basement foundation and

⁴² Ibid. Also in HABS, 4.

⁴³ HABS, 4.

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entrance to do so.⁴⁴ Changes were made to the interior as well. Most notable were the decorative plaster wall treatments in the downstairs central hall and library. The existing Victorian stairway was replaced between the first and second floors with one more in keeping with the colonial revival style. In the 1930s, the family added an upstairs bathroom. There were few changes made after the 1930s until Susanna Kyner Cristophane and her daughter Susanna Cristophane Yatmann sold Bostwick to the town of Bladensburg.

⁴⁴ Ibid. and “Bostwick Chronology.”

Building at Risk:

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Chapter Three:

Bostwick's Exterior



Chapter Three: Bostwick's Exterior

Introduction

Bostwick has sat upon Lowndes Hill overlooking the Anacostia River since 1746. Yet today, its future is at risk. The causes of Bostwick's current poor condition can be traced to a lack of maintenance and the failure to repair the structure in a timely manner. A careful observation, however, will show the beauty and grandeur that the house once possessed (figure 3-1).

A Description of the Exterior

The main block of the house is a two-and-a-half story early Georgian structure constructed of brick laid in Flemish bond. It is five bays wide and two piles deep. The gable-end roof, pierced by three irregularly spaced dormers on the front façade and two on the rear, is steeply pitched with flaring eaves and is covered with a cement-asbestos shingle product popular in the early 1900s. T-shaped, brick interior end chimneys with arched panels in the stack rise above the north and south gable ends of the house. The inscription "C.L. 1746" is embedded high in the south chimney. At the roof line, the house has a boxed cornice with crown molding that returns into the gable ends. The line is continued on the sides of the house by a brick string or belt course. Supporting the cornice is a frieze with scroll brackets in an alternating small and large pattern with each large bracket separated by two smaller ones. A one-and-a-half story kitchen addition abuts the main block on the north side.

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The Front Porch and West Façade

On the front, western-facing façade, the wall is penetrated by five regularly-spaced windows of equal height at the second-story level. The central window is a wide six-over-six, double-hung sash window. The four outer windows are narrower four-over-four, double-hung sash windows. Any brick arches above these windows are hidden by the frieze. A string or belt course three bricks deep separates the first and second stories. A one-story porch with elaborate colonial revival details extends across the front façade. It has a low hip roof with a pedimented gable projecting from the center. The gable contains a recessed sunburst panel, and the raking cornice is decorated with dentil molding (figure 3-2). Fluted columns in the Doric style support the roof and the molded, denticulated frieze. The porch's balustrade has turned balusters. The front entry has an elaborate frontispiece with a full elliptical fanlight and a double row of sidelights that are each six panes high and two panes wide. The sidelights are flanked by pilasters. The door is wooden with four by five lights above and two horizontal panels below. The entry is only slightly recessed with a wooden architrave lintel. The shadow of the colonial era pilasters and quoins can be seen in the area surrounding the door. The first story of the front façade is lit by large twenty-over-twenty, double-hung sash windows with single-light, stained-glass transoms above. There are no lintels or arches visible since the windows run into the line of the porch.

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The tables on the following pages present a detailed description of the west façade and the front porch of Bostwick as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions follow each table.

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Figure 3-1. HABS photo of Bostwick, 1990. Photo by John O. Brostrop.¹

¹ HABS.

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Figure 3-2. Bostwick's front, or west, façade as it appears today. The Stoddert addition is at the left of Bostwick's main block. Photograph by Kathleen Manicke.

Building at Risk

Table 3-1. The Porch on the West Façade of the Main Block.

Location: Exterior~West Façade~Front Porch					
Item	Date	Size	Description	Condition	Figure #
Piers (8)	Circa 1904 Kyner Restora- tion	Varies	Brick porch piers or supports that provide foundation for the porch. Area between the piers is filled with hand-built lattice panels.	Piers in fair to good condition; racking and settling of the house at the southwest corner has caused that pier to lean and twist; Condition of lattice is fair to poor with significant paint failure and areas exhibiting rot.	
Doors 1 (double)	Circa 1904 Kyner Restora- tion		The south end of the porch has been infilled with brick and contains two hand-built cross-buck doors made of 1" x 12" dimensional lumber with 1" x 6" trim.	Fair to poor condition with significant paint failure and areas of rot.	
Front steps (4)	Circa 1904 Kyner Restora- tion	12" W	Four wooden steps lead from the upper terrace to the floor of the porch. Treads are composed of 1" x 12" lumber with a bull-nose on the front edge of each step.	Fair to good condition; significant paint failure with resulting water damage to treads.	3-2 3-3
Porch deck	Circa 1904 Kyner Restora- tion	12" x 55'5"	2 ½" x 12" x 1" tongue in groove flooring.	Fair to good condition; significant paint failure and areas of rot at both the north and south ends.	
Porch roof	Circa 1904 Kyner Restora- tion		Hipped roof with center gable-end portico; asphalt shingles with painted metal flashing.	Good condition; no apparent leaks	3-2 3-3

Chapter Three: Bostwick's Exterior

Table 3-1. The Porch on the West Façade of the Main Block, continued.

Cornice, Architrave, and Entablature	Circa 1904 Kyner Restora-tion		Boxed cornice with articulated dentil molding immediately below; continues into a raking cornice surrounding the pediment on the portico. Entablature contains a sunburst pattern. Simple architrave has machine-made, ogee molding along its center line.	Generally good condition with mild to moderate alligatoring of the paint finish and mild to moderate rot.	3-2 3-3
Columns (10)	Circa 1904 Kyner Restora-tion		Architrave is supported by ten fluted columns with capitals and bases in the simple Doric style.	Fair to good condition with moderate paint failure; some moisture infiltration evident as some of the bases have separated and begun to rot.	3-2 3-3
Balustrade	Circa 1904 Kyner Restora-tion	28" H	Top and bottom rails are milled in the colonial revival style with turned balusters.	Fair to poor condition with mild alligatoring and flaking of the paint. Significant rot is evident on the bottom rail of the baluster on the south end of the porch.	3-2 3-3
Ceiling	Circa 1904 Kyner Restora-tion		Composed of 2½" wide tongue-in-groove boards. Large quarter-round acts as border between the ceiling and the house. Other sides are bordered by a simple crown molding. A hatch is cut into the ceiling near the house approximately 18½ feet from the south end. Examination of the hatch area reveals colonial era brick pilasters and quoins as well as the segmental arches that top the windows.	Good condition. Care should be taken to preserve the colonial era pilasters and quoins in place for future study.	3-5

Building at Risk

Table 3-2. The West Façade of the Main Block.

Location: Exterior~West Façade					
Item	Date	Size	Description	Condition	Figure #
Dormers (3)	Mid-19th century Stephen Era		<p>Roof on the west façade is pierced by three irregularly-sized and spaced dormers with the center dormer larger than the other two. The two end dormers have gable ends with cornices on the sides that wrap around to the front forming a pediment-like effect. Cornices on the front are supported by pilasters that flank the single window. The pilasters are composed of 1" x 4" flat lumber with decorative molding at the top to serve as a capital. The bases are made of 1" x 6" flat lumber. The sidewalls are covered with asbestos-cement shingles. The larger, central dormer is not at the center of the roof indicating that it was not part of the original Georgian era construction. The trim and side walls of this dormer are similar to those on the two end dormers.</p>	Fair to good with areas of rot and failing paint.	3-2 3-3
Central dormer windows (3)	Mid-19th century Stephen Era		<p>The central dormer is lit by an arrangement of a large, round-arched window flanked by two shorter and narrower, round arch-topped windows. The central window has four lights over two. The flanking windows have two horizontal lights over one. All sashes are wooden.</p>	Fair to good. Some areas of paint failure and rot are evident.	3-2 3-3

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Table 3-2. The West Façade of the Main Block, continued.

End dormer windows	Late 20th century		Six-over-six, wooden sash windows likely installed as replacements during the later half of the 20th century. They differ in muntin weight from the mid-nineteenth century windows in the central dormer.	Fair to good. Some areas of paint failure and rot are evident; windows were never painted, only primed.	3-2 3-3
Boxed cornice, architrave, and brackets	Mid-19th century Stephen Era		Boxed cornice supported by an arrangement of brackets consisting of two large brackets separated by a pair of smaller ones. The simple architrave contains a piece of ogee molding running the length of the architrave at the center line.	Good condition with slight paint failure.	3-2 3-3
2nd story windows (5)	Circa 1904 Kyner Restoration	Varies	Five regularly-spaced windows pierce the front façade at the second story level. The center window is wider than the other four. The remaining four windows are four-over-four, wooden sash windows. The central window is a six-over-six, wooden sash window. All the windows have a simple step molding and a wooden sill. The horizontal muntins are quite narrow while the vertical muntins are considerably wider. Any lintels or arches are concealed by the architrave.	Fair condition with significant paint failure and moderate areas of rot on the horizontal surfaces; failing window putty.	3-2 3-3

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Table 3-2. The West Façade of the Main Block, continued.

1st story windows (4)	Circa 1904 Kyner Restoration		There are two windows on each side of a central door at the first story level on this wall. Each window is a twenty-over-twenty, double-hung wooden sash window with a narrow stained glass transom above. The lintel/arch area is largely obscured by the porch roof, but traces of what appears to be a lintel are evident. There is a simple step molding and the sills are wood.	Fair to good condition. Failing putty with significant alligatoring and flaking of the painted surfaces. Rot on horizontal surfaces.	
Door (1)	Circa 1904 Kyner Restoration	38"W by 82" H	Wooden; divided light in upper portion has four-over-five lights; 2 panels below	Excellent condition; painted finish	3-4
Side lights (2)	Circa 1904 Kyner Restoration	15"W by 82"H	Wooden; two-over-six divided lights above; two horizontal panels below	Excellent condition; painted finish	3-4
Pilasters (2)	Circa 1904 Kyner Restoration	7"W	These flank the sidelights; fluted columns, unadorned architrave; capital is composed of cornice molding that extends across the door and sidelight openings; base composed of 3 types of machined molding	Excellent condition; painted finish	3-4

Chapter Three: Bostwick's Exterior

Table 3-2. The West Façade of the Main Block, continued.

Frontispiece	Circa 1904 Kyner Restora- tion		Combined with the pilaster, the trim work for the front door forms an elaborate colonial revival frontispiece.	Excellent condition; painted finish.	
Brick wall	Mid- 18th century and later repairs/ changes		Laid up in Flemish bond with shadows resulting from the removal of colonial era brick pilasters visible to the south of the door. Brick pilasters are still visible in the area enclosed by the porch roof/ceiling and are accessible through the hatch in the porch ceiling.	Good condition with some mild cracking; painted finish.	

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Figure 3-3. Bostwick's west façade and front porch. Photograph by Kathleen Manicke.

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Figure 3-4. Bostwick's colonial revival front door. Photograph by Kathleen Manicke.

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Figure 3-5. The main front porch hatch area. The original brick pilasters and quoins can still be seen in this area. Photograph by Kathleen Manicke.

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The South Façade

The south façade is dominated by a large brick buttress built during the Stoddert residency to halt the slippage of the house to that side (figure 3-4). The steep shed roof of the buttress is covered with the same roofing material as the house. The east wall of the main buttress is bowed and considerably out of plumb. This buttress wall is punctuated by a single small rectangular opening near the ground. The short south wall of the main buttress has no openings and shows a definite tilt to the southwest corner. The front of the buttress is supported by another smaller buttress at the south end. The north end of this buttress façade has a doorway. Inside the buttress are two small chambers from which the brick vaulting that strengthens the buttress can be seen.

On the south side of the house, windows flank the flush gable-end, T-shaped chimneys. At the attic level the windows are smaller, six-over-six, double-hung, sash windows surrounded by simple, stepped molding. This top level is separated from the second story by a string or belt course running between the two cornice returns. The second story windows are four-over-four, double-hung sash windows topped by brick segmental arches. Just above the belt course separating the first and second stories, star braces have been added at the southwest corner to provide additional support to the structure. The first story windows also are four-over-four, double-hung sash topped by brick segmental arches. The southwest corner of the foundation on this wall contains another much smaller buttress and a door with lights leading to the basement.

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The tables on the following pages present a detailed description of the south side of the house and its buttresses as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions on the south façade and buttresses follow the tables.

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Figure 3-6. Bostwick's south façade. The large buttress was added during the Stoddert period. Photograph by Kathleen Manicke.

Building at Risk

Table 3-3. The South Façade of the Main Block.

Location: Exterior~South Façade					
Item	Date	Size	Description	Condition	Figure #
Chimney	1746		Flush gable, double flue, T-shaped brick chimney with articulated Roman arch between the flues; plaque within the top of arch reads, "C.L. 1746;" brick necking; copper flashing new in 2006.	Good condition; significant paint failure.	3-7
Raking cornice			Flat lumber with molding above	Good condition; some paint failure	3-7
Attic windows (2)	Late 20th century		Six-over-six, wooden, double sash windows with brick segmental arch over each window with brick infill below; simple wooden step molding. These are replacement windows with different muntin size from the rest of the windows in the house; newer type glass with no flaws or waves.	Good condition; slight paint failure; no rot visible from the outside.	3-7
2nd story windows (2)	Mid-19th century Stephen Era		Four-over-four wooden, double sash windows; brick segmental arch slightly smaller than windows indicating that these windows have been replaced. Wall above window now supported by wooden plate; simple wooden step molding; wooden sill. Old glass with flaws and waves. These are replacement windows that date to the mid-19th century.	Fair to good condition; moderate paint failure; some rot on horizontal surfaces.	3-7

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Table 3-3. The South Façade of the Main Block, continued.

1st floor windows (2)	Mid-19th century Stephen Era		Narrow four-over-four, wooden, double sash windows; brick segmental arch with brick infill below; simple wood step molding; wood sill. Old glass with flaws and waves. These are replacement windows that date to the mid-nineteenth century	Fair to good condition; moderate paint failure; some rot on horizontal surfaces.	3-7
Brick wall	1746		Brick laid in Flemish bond with a three-course string/belt running between the first and second stories and between the second and attic stories. Three irregularly-spaced star braces have been inserted at both the second and attic levels on the southwest corner. Two braces have been added immediately above the door to the basement on the southwest corner. Addition of bracing indicates movement of the house at the southwest corner.	Overall fair condition; paint failure evident. Some brick seems to have been re-laid between the large south buttress and the upper belt course because the regular pattern of the Flemish bond changes to 3 stretchers followed by a single tie in repeating rows. At the southeast corner the wall appears to be bowing outward. Placement of a small buttress in this area indicates this has been a problem in the past. At the southwest corner, racking and settling of the structure have caused the brick to crack in the area of the star bracing over the basement door. Cracking is mild to moderate.	3-7 3-8
Basement door	20th century	40" W x 69" H	Hand-built door constructed of 2½" tongue in groove boards with 6 light (3 over 3) window framed with 1¾" wide flat lumber in a rail and stile pattern. Lights are 9" x 12". Metal strap across bottom of door.	Poor condition; significant paint failure; two broken lights; areas of rot, settling of structure has caused the door to appear crooked and necessitated its being shortened; this door cut may have exacerbated the issues with this corner	3-8
Door hardware	20th century		White china doorknob with round rose; Yale dead-bolt lock.	Operable	

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Table 3-4. The Buttresses on the South Façade of the Main Block.

Location: Exterior~South Façade Buttresses					
Item	Date	Size	Description	Condition	Figure #
Small buttress at southwest corner	20th century	30" W x 87" H x 34" D at base	Brick supporting buttress steps up ziggurat fashion. Built to provide support at the southwest corner	Excellent	3-8
Small Buttress at Southeast Corner	Late 17th to early 18th century Stoddert period	17" W x 80" H x 22" D at base	Brick support buttress with smooth face indicating an earlier construction date.	Fair to good; some spalling of brick.	3-7
Large central buttress--east wall	Late 17th to early 18th century Stoddert period	11'3" W x 14'8" D at base	Large brick supporting buttress stretches from 5'7" high at its outer wall to over 1½ story tall where it abuts the house. Small wooden-framed window opening near the north corner on the east wall measures 13" W x 20" H. Routed edges in the frame indicate that it may have held glass at some time. Walls of buttress are laid up in Flemish bond. Trim at the roofline is 1" x 4" flat lumber.	East wall of buttress is in poor condition due to the bulging of this wall particularly in the window area. Mortar is also in poor condition due to the presence of climbing vines.	3.7

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Table 3-4. The Buttresses on the South Façade of the Main Block, continued.

Large central buttress--south wall	Late 17th to early 18th century Stoddert period	11'3" W x 14'8" D at base	Brick laid in Flemish bond.	Good condition.	
Large central buttress--west wall	Late 17th to early 18th century Stoddert period	11'3" W x 14'8" D at base	West wall pf the large central buttress contains an arched open doorway with segmental arch. The door size in 38" by 60" and is located at the north corner. A second arch which matches the interior ceiling vault is immediately above this doorway. This may indicate that the buttress was modified when the earlier arch/structure failed to provide the desired stability.	Good condition.	3-6 3.7 3-9
Small buttress on the central buttress	20th century	89" w x 68" H x 26" D at base	Steps up ziggurat fashion and was likely not original to the main central buttress.	Excellent condition.	

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Table 3-4. The Buttresses on the South Façade of the Main Block, continued.

Large central buttress--interior	Late 17th to early 18th century Stoddert period		Consists of two rooms; west room is 4'5" wide by 8'3" long; the east room is 3' wide and 7'5" long. A brick wall 17" thick separates the two rooms; the doorway in this wall is 22" W x 48" H with a triangular arch at the top. The ceiling is constructed as a brick, radial vault with stretchers running parallel to the south wall of the house. On the east wall of the buttress, the ceiling vault does not meet the wall indicating the two were not built at the same time. The smaller east room has a pile of brick rubble on the floor near the interior wall.	Fair to good.	3-10
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Figure 3-7. Bostwick's southern façade and large central buttress. Photograph by Kathleen Manicke.

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Figure 3-8. Basement door, small buttress, and star bracing. Photograph by Kathleen Manicke.

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Figure 3-9. Entrance to the large central buttress. Line of ceiling vaulting is visible over the door (red arrow). Photograph by Kathleen Manicke.

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Figure 3-10. Buttress interior doorway. Photograph by Kathleen Manicke.

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The East Façade

The east or rear façade is topped by a cornice and bracket treatment identical to that on the front façade. The second story windows are asymmetrically placed, four-over-four, double-hung sash windows of an equivalent size that are surrounded by step molding. Just above the porch roof, two s-braces were installed to shore up this wall since it supports the interior stairway. The string or belt course is covered by the porch roof. The rear entry possesses the same door and sidelights as the front entry; however, there is no fanlight or frontispiece. There is a Palladian window at the first story in the northeast bay that was added in the early years of the twentieth century. The other windows in the southeast bay are large four-over-four, double-hung sash windows. The porch on this elevation is of earlier construction dating to the Stephens residency in the house. It is an L-shaped, hipped-roof structure that wraps around the northeast corner of the house and is supported by square columns with simple molding at their tops and slightly larger, simple bases.

The tables on the following pages present a detailed description of the east, or rear, side of the house and an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions on the rear façade follow the tables.

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Figure 3-11. The east façade at Bostwick. Photograph by Kathleen Manicke.

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Table 3-5. The East Façade of the Main Block.

Location: Exterior~East Façade					
Item	Date	Size	Description	Condition	Figure #
Porch	Mid-19th century Stephen Era		Hipped roof at the north end of the porch where it wraps around the corner of the house. Shed roof at the south end. Gable at the south end is composed of 4" W vertical tongue in groove boards over a 10" W unadorned architrave.	Roof in good condition; copper flashing is in excellent condition.	3-11 3-12
Porch columns (9)	Mid-19th century Stephen Era	9" x 9"	Nine-inch square columns with chamfered edges. Capital is composed of crown molding. A smaller fillet molding separates the capital from the column's shaft. The column's bases are 10" high and wide with an ogee molding separating the base from the shaft. One pilaster with a similar profile supports the shed roof at the southwest corner.	Columns and pilaster are in fair to good condition but exhibit considerable paint failure. Some rot on bases of columns.	3-11 3-12
Porch Architrave	Mid-19th century Stephen Era	10" H	Unadorned flat lumber	Good condition; significant alligatoring of the paint finish	3-11 3-12
Porch floor	20th century	9' x 86'	Concrete	Fair to poor with significant cracks at the southern end due to settling and moving of the house toward the southwest and moisture infiltration caused by missing gutters along the south end of the porch.	

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Table 3-5. The East Façade of the Main Block, continued.

Gutters and downspouts	2005	5"	Galvanized steel half-round gutters with two round downspouts.	Excellent.	
Dormers (2)	Mid-19th century Stephen Era		Nicely proportioned gable roof with pediment supported by two pilasters flanking the window; boxed cornice returns act as capitals of the pilasters; sidewalls are covered with asbestos-cement shingles, a twentieth-century material.	Fair to good; some signs of paint failure on wood trim.	
Dormer windows (2)	20th century		6-over-6, wooden, double sash windows that differ in muntin size and in their construction from the windows on the first and second stories.	Good condition with some signs of paint failure.	
Cornice	Mid-19th century Stephen Era		Boxed cornice supported by Victorian-era brackets in an alternating pattern with a pair of small brackets separating each pair of large brackets.	Good with little rot visible and significant alligatoring and chipping of painted finish.	
Architrave	Mid-19th century Stephen Era		Simple with machine molding between large brackets and under small ones; the architrave's lower edge is beaded; brick segmental arch slightly smaller than windows indicating that these windows have been replaced; wall above window now supported by wooden plate.	Good with little rot visible and significant alligatoring and chipping of painted finish.	

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Table 3-5. The East Façade of the Main Block, continued.

2nd story windows	Mid-19th century		Irregularly spaced four-over-four, wooden, double sash windows with simple stepped casing. Arches, if they exist, are covered by the architrave and cornice. The simple sill is wooden.	Fair condition; evidence of some rot; significant paint failure; 2 broken lights in north window	
Palladian window	Circa 1904 Kyner Restoration		Palladian window replaced two earlier windows; Palladian window is composed of a large twelve-over-fifteen light window flanked by smaller nine-over-nine light windows; there are two sets of pilasters-- one set flanks the center window and the other flanks the entire grouping; a large colonial revival cornice molding with dentils below separates the three windows from the single half-round fanlight above the center window; sill is stone; the Palladian window is topped by a brick segmented arch.	Good condition with slight paint failure.	3-13 3-16
Windows (2)	Mid-19th century		Four-over-four, wooden, double sash windows with narrow horizontal muntins and wide vertical ones; older type glass exhibits waves and flaws; the sill is wood; brick segmental arch slightly smaller than windows indicating that these windows have been replaced; wall above window now supported by wooden plate.	Good condition with slight paint failure.	3-14

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Table 3-5. The East Façade of the Main Block, continued.

Door and sidelights	Circa 1904 Kyner Restoration		Wooden door; divided light in upper portion has four-over-five lights; two panels below; sidelights have two-over-six lights and two panels below; there is no fanlight; instead there is a simple architrave; step molding around door.	Good condition; no visible rot; significant alligatoring and failure of the paint finish.	3-15
Bracing			Two "U" braces in the brick work above the rear door; may have been added when the door opening was widened to accommodate the door and sidelights installed during the Kyner restoration.	Good condition.	
Brick wall	1746		Flemish bond. The second story has no signs of disturbance. On the first story there is a "shadow" segmented arch over the door area that is 4' wide and 9'2" above the porch floor. The height indicates that this was the site of an earlier door. Cracks and shadows around the existing door opening are further indications that this is not the original rear entry. Another "shadow" brick segmented arch exists in the area over the Palladian window. This arch is 10'6" high. The height and size of this arch is similar to those of the two windows at the south end of this facade, indicating that this arch was for a window.	Good to excellent with evidence of repairs and changes.	3-13 3-14 3-15 3-16

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Table 3-5. The East Façade of the Main Block, continued.

Carriage lights	Late 20th century to early 21st century		Brass finished carriage lights in a colonial revival style flank the door.	Good; operable	3-12
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Figure 3-12. Bostwick's rear porch. Photograph by Kathleen Manicke.

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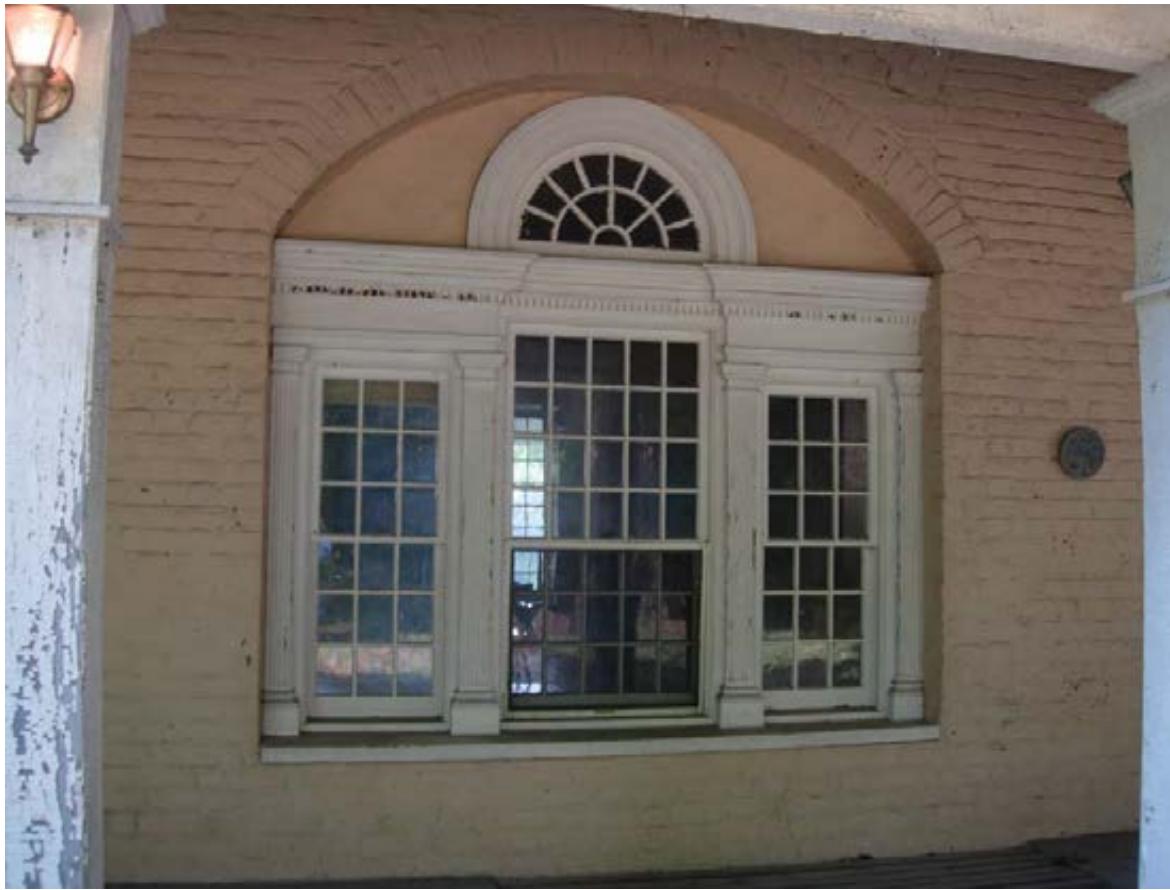


Figure 3-13. The Palladian window. Photograph by Kathleen Manicke.

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Figure 3-14. First story window on the east façade. Photograph by Kathleen Manicke.

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Figure 3-15. The rear entry. A red arrow marks the shadow arch above. Photograph by Kathleen Manicke.

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Figure 3-16. Shadow of a former window arch over the Palladian window. Photograph by Kathleen Manicke.

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The North Façade

The northern façade of Bostwick's main block is largely hidden by the kitchen wing added by the Stodderts in the early 1800s. The roofline on the north façade is punctuated by a flush, T-shaped, gable-end chimney with an articulated Roman arch recessed between the two flues. While the attic windows remain intact on this façade, only a shadow of one of the west second story windows remains.

The tables on the following pages present a detailed description of the north side of the house and as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions on this façade follow the tables.

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Table 3-6. The North Façade of the Main Block.

Location: North Façade					
Item	Date	Size	Description	Condition	Figure #
Chimney	1746		Flush gable, double flue, T-shaped brick chimney with articulated Roman arch between the flues; brick necking.	Good condition with mild to moderate paint failure.	
Attic windows (2)	Late 20th century		Two evenly spaced six-over-six, wooden sash windows with simple step molding and wooden sills.	Fair condition with significant areas of rot on the step molding. No paint remaining on molding. Significant paint failure on window sash.	
2nd story window (1)	19th century		A single four-over-four, wooden, double sash window remains on the second story of this façade. Segmented arch is not as wide as the existing window indicating a replacement. Area below arch has brick infill. Wooden lintel supports wall above window. Older glass with flaws and waves.	Poor condition. Paint and putty failure is severe, and rot is evident in the sill area as well as the window's bottom rail.	
1st story window (1)	19th century		Four-over-four, wooden, double sash window. Narrow horizontal muntins with wide vertical ones. Wooden sill. Segmental arch is narrower than window opening. Area below the arch has brick infill and wooden lintel. Simple step molding with bead along front edge. Older glass with flaws and waves.	Fair condition with moderate failure of both paint and window putty. One broken light.	
Brickwork	1746		Flemish bond.	Fair condition. Cracking evident.	

Chapter Three: Bostwick's Exterior

The Exterior of the Stoddert Addition

The Stodderts added this wing to the house to provide a cooking space on the main level of the house. The front, or west façade, is topped by a gable roof with two shed-roofed, wall dormers. The first floor of this addition boasts a porch on its west side that echoes that on Bostwick's main block. The north wall contains a flush, gable-end chimney; it has no window or door openings. According to one source, this wall was once part of a garden enclosure.² The east façade of this addition has two shed-roofed wall dormers as well as a door and two windows on the main level. Much of this eastern façade is obscured by the roof of the porch that wraps around from the main house.

The kitchen wing of Bostwick's main house is a one-and-a-half story, two-bay wide, brick addition that sits flush with the main block of the house on the front or west façade. At the north end of the kitchen wing is a flush, gable-end chimney. Two evenly-spaced, shed-roofed dormers punctuate the west façade at the roof line where there is a simple, unadorned architrave. Each of the windows at this level is a six-over-six, double-hung sash window. The first floor of this façade is pierced by an unevenly spaced door and window placed near the northwest corner of the wing. The window is a six-over-six, double-hung sash window. The single, wooden door has lights above and panels below. The porch on this façade of the kitchen wing covers the two bays with a low hip roof that

² Susan Perl. "Bostwick Chronology." Town of Bladensburg Archives.

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is supported by three box columns and two pilasters. The balustrade has squared, molded-cap newel posts at the entry. The balusters are not turned and are recta-linear in shape.

The tables on the following pages present a detailed description of Bostwick's Stoddert addition as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions are also included.

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Figure 3-17. The front, or west, façade of the Stoddert addition to Bostwick. Photograph by Kathleen Manicke.

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Table 3-7. The West Façade of the Stoddert Addition.

Location: West Façade of Stoddert Addition					
Item	Date	Size	Description	Condition	Figure #
Wall Dormers (2)	Late 18th to early 19th century		Two asymmetrically placed, shed-roofed, wall dormers; lower edge of the dormer extends below roofline and architrave; sidewalls are asbestos-cement shingles.	Fair to good with some plaster damage on the interior in the dormer areas resulting from inadequate flashing.	3-17
Dormer Windows	20th century	30"W x 52"H	Six-over-six, wooden sash windows with simple, unadorned trim made from dimensional lumber.	Fair to poor with moderate to severe paint failure; evidence of rot on the exterior surfaces of the window; failing putty.	3-17
Boxed Cornice and Architrave	Late 18th to early 19th century		Small boxed cornice over unadorned architrave; cornice pierced by vent stack at the northern corner.	Fair condition; Moderate to severe paint failure; northern end board is missing; evidence of rot.	3-17
Gutters and Downspouts	2005	5"	Galvanized steel, half-round gutters and round downspouts.	Excellent.	
First Story Window	20th century	34"W x 52"H	Single window located at the northern end of the west façade; six-over-six, wooden sash window with a simple step molding; arch/lintel area hidden by porch ceiling; wooden sill.	Fair to good condition with moderate alligatoring of the paint finish.	

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Table 3-7. The West Façade of the Stoddert Addition, continued.

Door	20th century	32"W x 78"H	Wooden entrance door with three horizontal lights above and two panels below; stone threshold; transom area has brick infill that suggests this is a replacement door; brass-colored door hardware includes hinges, knob, and knocker.	Fair to good condition with moderate paint failure.	
Storm Door	20th century	32"W x 78"H	Wooden storm door with two-over-four lights above and 2 horizontal panels below; small, round, brass-colored, cast metal doorknob.	Fair to good condition with moderate paint failure.	
Crawl space window	Late 19th to early 20th century	34"W x 10"H	Single-paned, wood window not designed to be operable; no lintel or arch; flat; dimensional lumber used as trim.	Poor to fair condition; significant rot in the sill area likely due to the failure of the painted finish.	
Brickwork	Early 19th century		Wall is of early type, handmade brick with an irregular bonding pattern.	Fair condition. Cracking evident.	
Buttress	Early 19th century	14"W by 64"H x 24"D	Small buttress located at the northern corner of this wall; smooth-faced.	Poor condition; severe cracking of the buttress structure; moderate spalling of its exterior coating.	3-17

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Table 3-8. The Front Porch on the West Façade of the Stoddert Addition.

Location: Front Porch on the West Façade of the Stoddert Addition					
Item	Date	Size	Description	Condition	Figure #
Roof	20th century		Hipped roof covered with asphalt shingles.	Good condition.	
Entablature	19th century to 20th century		Boxed cornice rests on crown molding; simple architrave with ogee molding running the entire length of its center line.	Good to fair condition; some rot and paint failure.	3-17
Columns and Pilasters	19th century to 20th century		Three square columns and two pilasters support the porch roof; both have chamfered edges with simple capitals and bases.	Fair to good condition; paint failure; significant rot at the bases.	3-17
Balustrade	19th century to 20th century		Two newel posts similar in style to the columns flank the steps leading to this porch; square balusters set into rails form the balustrade.	Very poor condition; failure of the painted finish has led to extensive rot; loose and missing balusters; rail has fallen off at the bottom of the south end of the porch.	3-17

Chapter Three: Bostwick's Exterior

Table 3-8. The Front Porch on the West Façade of the Stoddert Addition, continued.

Porch deck	19th century to 20th century	6' x 16'4"W	Four steps lead to the porch deck; deck is composed of 2½" x 1" tongue-in-groove pine floor.	Poor condition; failure of paint finish has led to significant rot.	
Porch Piers (4)	19th century to 20th century	9"W x 9"D	Brick porch piers.	Fair to good condition; some repointing of mortar needed.	

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Table 3-9. The North Wall of the Stoddert Addition.

Location: North Wall of Stoddert Addition					
Item	Date	Size	Description	Condition	Figure #
Chimney	19th century		Flush, rectangular-shaped, gable-end chimney has a double row of bricks for necking; metal chimney cap.	Fair to good condition; mild paint failure; some repointing of mortar needed.	
Raking cornice	19th century to 20th century	1" x 6 "	Flat, dimensional lumber.	Fair condition with significant paint failure and possibility of rot.	
Brickwork			Unusual bonding pattern consists of 6 or 12 rows of stretchers followed by a course of ends for bonding; the lower half of the wall has been inappropriately parged with a cement-based product; wall shows evidence of severe cracking that has been repaired; slight bow near base; one source states that this was once the garden wall of the main house.	Fair to poor condition because of bowing, inappropriate parging, and severe cracking.	

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Table 3-10. The East Wall of the Stoddert Addition.

Location: East Wall of the Stoddert Addition					
Item	Date	Size	Description	Condition	Figure #
Wall Dormers (2)	late 18th to early 19th century		Two asymmetrically placed shed-roofed, wall dormers; lower edge of the dormer extends below roofline and architrave; sidewalls are asbestos-cement shingles.	Fair to good with some plaster damage on the interior in the dormer areas resulting from inadequate flashing.	
Dormer Windows	20th century	30"W x 52"H	Six-over-six, wooden sash windows with simple, unadorned trim made from dimensional lumber.	Fair to poor with moderate to severe paint failure; evidence of rot on the exterior surfaces of the window; failing putty.	
Copper Guttering	20th century	5"	Copper, ogee-type guttering over the dormer windows with round downspouts; copper half-round gutters at the roofline with two downspouts to porch roof; third downspout is missing and water runs down the brick on the house.	Poor to fair condition due to missing downspout; leaks; downspouts leading from the dormers to the porch roof cause splashing around the dormer area leading to moisture infiltration that has caused damage to the plaster interior.	
First Floor Windows	20th century	34"W x 52"H	Six-over-six, double-hung wooden sash windows with a simple step molding; wooden sills; end bricks for heading; no arch or lintel visible because of the porch roof; the northernmost window has paneled shutters with metal dogs and strap hinges; the back sides of the shutters are flat.	Poor condition with moderate to severe alligatoring and flaking of the painted finish; molding around the window has been inappropriately altered at the top of the window at two different times in order to accommodate the porch roof; the northern window exhibits extreme paint failure with much of the paint having flaked off; rot is apparent throughout the lower sash of the northern window and sill; failing putty; shutters have areas of rot throughout.	3-18 3-19

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Table 3-10. The East Wall of the Stoddert Addition, continued.

Door	20 th century	34"W x 78"H	Wooden plank door made of random width, tongue-in-groove boards with a beaded edge fastened to two 1" by 6" battens with beveled edges.	Good condition.	
Brick work	19 th century		Handmade brick laid in an irregular bonding pattern.	Fair to poor; lack of repair to gutters has caused significant paint failure and washing of the mortar on this wall; cracking evident under the north window; prior attempt to correct bow in the wall by bolting a 4" by 4" brace approximately 3 feet from the north corner of this wall.	
Cornice	19 th century		Open cornice supported by double course of brick headers (ends).	Fair condition with paint failure on wooden elements.	

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Figure 3-18. Failing paint and rot on the east façade's northern window in the Stoddert addition. Photograph by Kathleen Manicke.

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Figure 3-19. The northern window of the Stoddert addition's east façade. Photograph by Kathleen Manicke.

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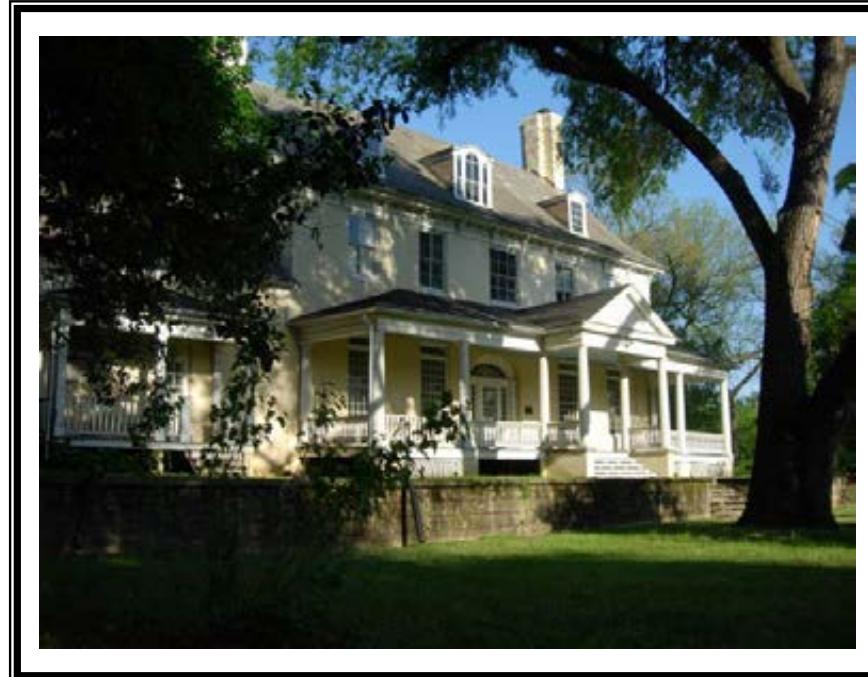
Summary

The primary concerns facing Bostwick's exterior stem from the wracking and twisting of the structure at the southwest corner. The cause or causes of the structure's movement must be determined, and the southwest corner should be stabilized in order to prevent any further damage. Additional concerns regarding the exterior relate to the infiltration of moisture that causes rot in structural members and trim, the loss of historic mortar, and damage to the historic finishes on the interior. Efforts should be made to protect the structure from the elements, including replacing the roof, repairing and replacing the guttering and downspouts that are missing or damaged, replacing rotting wood with sound material, and painting the structure. All of these concerns must be addressed in order to prevent the further deterioration of historic fabric.

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Four: Bostwick's Basement



Chapter Four: Bostwick's Basement

Introduction

Prior to the addition of the colonial revival front porch and the top terrace, Bostwick possessed an English basement with windows and doors that overlooked the terraced lawn and river below. The basement's two feet thick exterior walls were constructed of stone, perhaps ballast rock as Christopher Lowndes is known to have used this material when he built Bladensburg's Market Master House.

The basement at Bostwick is approximately 30' by 54' and is divided into three bays of unequal size. The interior walls in the basement are brick; some of which have been given a coat of red mud plaster and then whitewashed or painted. Large relieving arches at both the north and south ends of the basement support the fireplaces and chimneys on the upper floors. The floors are brick and generally quite uneven.

The descriptions, tables, and photographs on the following pages present a detailed account of all the bays in the basement as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in basement follow each table.

The South Bay of Bostwick's Basement

The south bay of Bostwick's basement consists of a single large room with an uneven brick floor that shows signs of water movement across its surface. The exterior walls are of stone, and the interior walls were constructed of brick. All walls, both interior and exterior, have been repointed on at least two occasions, once with a lime-based mortar that left

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much of the face of the stone obscured and once with a Portland cement-based product. The south bay also boasts a large brick relieving arch along its exterior southern wall. This arch, however, is largely hidden by a late twentieth century steam boiler. The exterior walls are pierced by both windows and doors that appear to date to the restoration of Bostwick by the Kyner family in the early 1900s. The north interior wall is pierced by a double door that is probably original to the structure. The ceiling joists and beams show considerable damage and are in need of stabilization.

Chapter Four: Bostwick's Basement

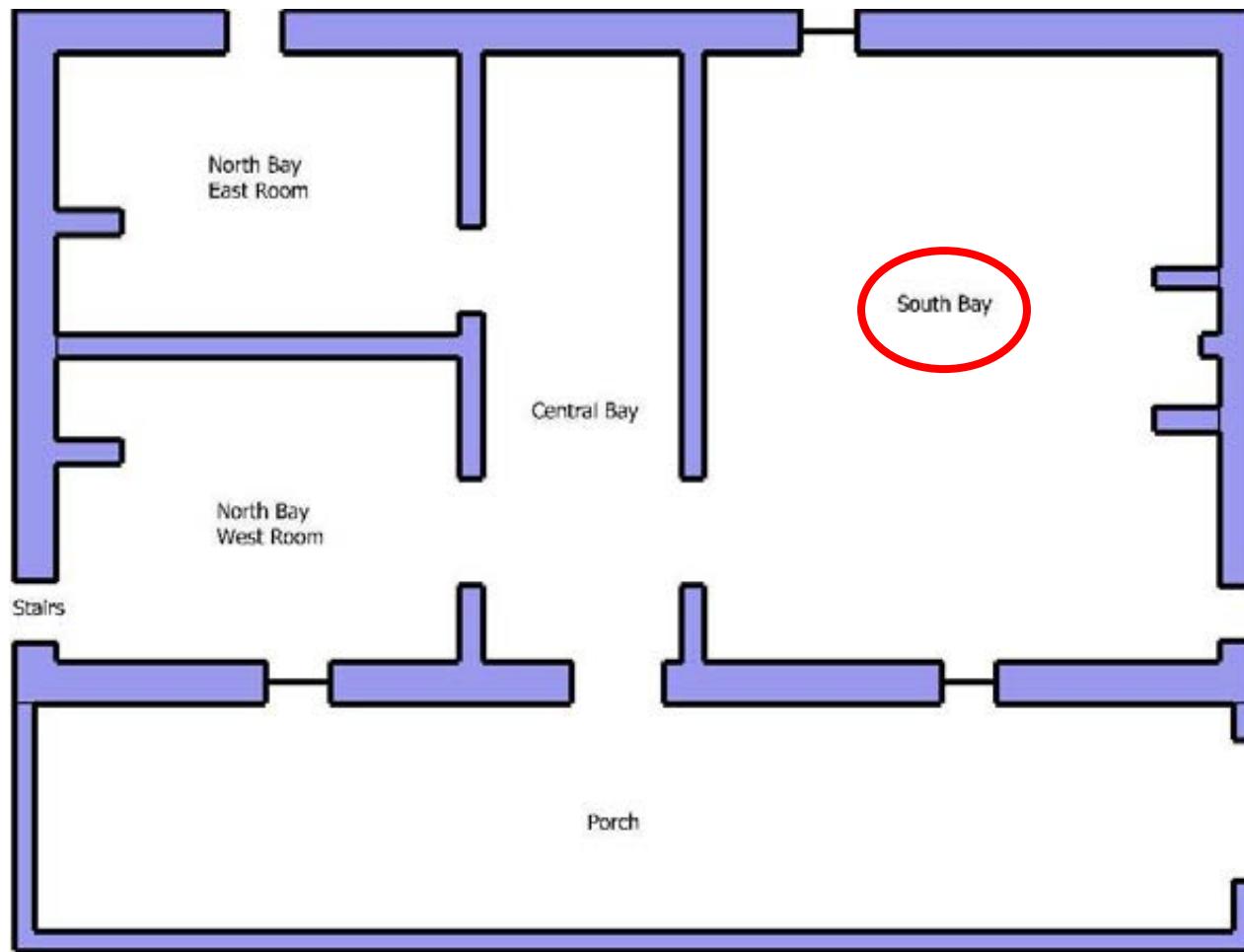


Figure 4-1. Floor plan of Bostwick's basement showing the south bay. Drawing by Kathleen Manicke.

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Figure 4-2. The south bay of Bostwick's basement looking toward the east wall. Photograph by Kathleen Manicke.

Chapter Four: Bostwick's Basement

Table 4-1. The West Wall in the Basement's South Bay.

Location: Basement South Bay~West Wall					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'4" H x 23' L	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places.	Fair to good condition.	4-3
Window lintel	18th to 19th century	3" x 77" L	Hewn lumber of undetermined variety set into the stone wall.	Fair to good condition; probing reveals no rot on the side facing the room.	4-3
Window	19th- 20th century	24" H x 33" W	Window sash has been removed and covered with half-inch plywood; a hole has been cut in the plywood for a dryer vent.	Poor condition; sash is missing.	4-3

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Figure 4-3. The west wall of the south bay in Bostwick's basement. The window sash has been removed and a dryer vent added. Notice the inappropriate repointing and parging of the stonework. Photograph by Kathleen Manicke.

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Table 4-2. The North Wall of the Basement's South Bay.

Location: Basement South Bay~North Wall					
Item	Date	Size	Description	Condition	Figure #
Brick wall	1746		Built of soft, handmade brick with an irregular pattern of stretchers and ties; contains areas of inappropriate repointing/parging with both lime-based and cement-based products.	Fair to poor condition; because of inappropriate parging/repointing; spalling of the brick due to moisture infiltration; presence of black mold caused by damp; deteriorating mortar.	4-4
Double door (west panel)	18th to 19th century	Entire door is 65" W x 72 "H; west panel is 33" W x 71" H x $\frac{15}{16}$ " thick	Random width lumber of undetermined variety showing traces of paint/whitewash; no saw marks evident; top batten is 1" by 6" with beveled edges; top batten has two large wrought nails at each end and two smaller square nails in the center area; round-headed wire nails also are present on this batten; holes in the door indicate that the door once had hardware for a latch; this panel has older strap-type hinge on the top; newer and smaller strap hinge has been added to the bottom.	Fair condition; the bottom of the west door panel has evidence of moisture damage and rot; strap hinges exhibit severe rust.	4-5

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Table 4-2. The North Wall of the Basement's South Bay, continued.

Double door (east panel)	18th to 19th century	Entire door is 65" W x 72½" H; west panel is 33" W x 71" H x $\frac{15}{16}$ " thick	The east panel of the double door is built of random width tongue in groove lumber with the widths ranging from 3"W to 4 1/4"wide; undetermined variety of wood; the top batten is 1" x 7" x 29½" and is held in place by wrought nails; slight bevel on the top and bottom edges of this batten; the lower batten is 1" x 9 1/2" x 31" with a section measuring approximately 6' H by 2" W cut and removed from the lower latch side; holes for hardware found on the same side as the hinges indicate that this door may have hung in another place or been turned at some time; the side of this door facing the central bay contains stenciling that is illegible except for "4th"; strap hinges are 1¾" at the widest point and 10" long; the shadow of the bottom hinge remains on the door; contains traces of paint/whitewash; scrape marks indicate the location of a former latch (perhaps wooden).	Fair to poor condition; the door has been trimmed unevenly at both the top and bottom; the bottom exhibits signs of rot and decay.	
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Chapter Four: Bostwick's Basement

Table 4-2. The North Wall of the Basement's South Bay, continued.

Door frame and stop for double door	18th to 20th century	4" x 8"	The east upright has been cut and the lower 25" replaced with brick; the bottom 4" on the west upright shows signs of rot and decay; the stop is 1" x 6½" flat unplaned lumber of an unknown variety that exhibits signs of rot and decay; this door stop shows what may be reciprocal saw marks; stop has nails with square heads; some paint/whitewash; traces of paint include reddish/brown color underneath a lighter coat of white or gray.	Fair to good condition; although there are significant areas of rot, much of the wood appears sound upon probing; inappropriate repairs with materials different from the original.	4-6
Lintel	18th to 19th century	3" x 7"	Hewn lumber of undetermined variety; separated from the upper door frame by a single row of brick infill.	Fair condition; shows some sagging; some rot at the east end.	4-6

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Figure 4-4. The north wall of the basement's south bay. The dark area on the wall is mold resulting from the damp conditions caused by moisture infiltration into the basement. Also notice the parged areas. Photograph by Kathleen Manicke.

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Figure 4-5. The west panel of the double door leading from the south bay to the central bay of the basement. Photograph by Kathleen Manicke.

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Figure 4-6. The double door on the north wall of the south bay through the central bay into the north bay of the basement. Notice the frame and lintel of the double door. Photograph by Kathleen Manicke.

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Table 4-3. The East Wall of the Basement's South Bay.

Location: Basement South Bay~East Wall					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	82" H	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places.	Fair to poor condition; because of inappropriate parging/repointing; washing of the mortar due to moisture infiltration; presence of black mold caused by damp.	4-2 4-7
Window	20th century	24" H x 26" W	Top-hinged, basement-type wooden sash window; difficult to assess since the window is covered with a batt of fiberglass insulation cut to fit the window opening.	Difficult to assess due to the presence of the fiberglass insulation.	4-7
Lintel		3" x 42"	Wood of undetermined variety.	No apparent rot upon probing.	

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Figure 4-7. The northeast corner of the south bay. The east wall is constructed of stone, and its lower half has significant mold growth. The window (red arrow) is largely obscured by the piping for the steam heat system. Photograph by Kathleen Manicke.

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Table 4-4. The South Wall of the Basement's South Bay.

Location: Basement South Bay~South Wall					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	82" H	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places.	Fair to poor condition; because of inappropriate parging/repointing; washing of the mortar due to moisture infiltration; presence of black mold caused by damp.	
Relieving Arch	1746	4' D x 10'2" W	Stone and brick relieving arch that supports the chimneys and fireplaces on the floors above; arched brick opening is 4' D x 6' W x 6' H; largely obscured and difficult to assess due to the presence of the gas-fired steam furnace placed in front of its opening.	Poor condition; the strength of this arch has been compromised due to the washing of the brick from moisture infiltration coupled with the routing of the furnace flue through the back portion of the arch.	4-8
Basement door	20th century	40" W x 69" H	Hand-built door constructed of 2½" tongue in groove boards with a 6 light (three-over-three) window framed with 1¾" wide flat lumber in a rail and stile pattern; lights are 9" x 12"; metal strap across bottom of door.	Poor condition; significant paint failure; two broken lights; areas of rot, settling of the structure has caused the door to appear crooked and necessitated its being shortened.	
Door hardware	20th century		White ceramic doorknob with round rose; Yale dead-bolt lock.	Operable.	

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Figure 4-8. The strength of the relieving arch on the south wall of the south bay has been compromised by the opening cut for the furnace's flue (red arrow). Photograph by Kathleen Manicke.

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Table 4-5. The Ceiling and Floor of the Basement's South Bay.

Location: Basement South Bay~Ceiling and Floor					
Item	Date	Size	Description	Condition	Figure #
Joists (14)	1746	3½" x 9" x 14'8"	Joists are approximately 17" on center; joists are pit sawn or hewn lumber of an undetermined variety and appear to have neatly sawn ends; movement of the west wall may have necessitated additional support, which was provided by the addition of sisters; these sisters vary in width and depth; sistering may also have been done to level the floors above during the second half of the 19th century; random probing shows that the joists are sound except at the east end where they rest on the sill and many of these eastern ends exhibit considerable rot; ten joists no longer rest on the sill but instead lie on pieces of lumber that have been nailed into a plate in the sill area; some of the lumber used as sisters on these joists shows insect damage and areas of rot.	Fair to poor condition; while the center of the joists are sound, they rest on little to nothing at all particularly at the east end where there is significant rot because of moisture infiltration caused in part by the lack of repair/replacement of the gutters on the east side of the house; support for the joists is an urgent need; at least two joists show evidence of insect damage.	4-9
Plates (west wall and east wall)	20th century	1½" deep x undetermined width	1½" size indicates post-1950 material; large wire nails also are evident.	Condition is difficult to determine; random probing shows little rot.	

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Table 4-5. The Ceiling and Floor of the Basement's South Bay, continued.

Sub-flooring above joists	19th to 20th century	2½" W	Machine-sawn, random length, tongue-in-groove flooring of an undetermined variety of wood; side facing the basement is not planed; saw marks indicate that it was milled with a circular saw; boards run from east to west at a right angle to the joists.	Good to excellent condition with no evidence of rot upon probing.	
East-west beam	1746	12" D x 12" H x 28'10" L	Located at the south end of the south bay; wooden, pit-sawn beam provides support for both the hearths and the floors above; two cast iron/steel straps with exterior star braces tie into this beam at its western end; electrical wiring of various types has been attached to this beam using staples and/or wire nails; the eastern end of this beam is soft upon probing, indicating rot.	Fair to poor; random probing along the entire lower edge reveals little or no softness except at the east end where there is significant rot and deterioration because of moisture infiltration; this beam requires additional support at its eastern end.	

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Table 4-5. The Ceiling and Floor of the Basement's South Bay, continued

North-south summer beam	1746	15" W x 11½" H x 18' L	Wooden, hewn beam of an undetermined variety runs across the center of this bay from the north to the south; at its southern end, it is not tied into the exterior wall but is instead mortised into the east-west beam; the north end of the beam is supported by a structural brick wall; an examination of the cut end of this beam as it passes through the wall reveals an area of rot at the beam's center that may have been there when it was installed in 1746; shortly after Bostwick's purchase by the town in 1997, this beam cracked; a contrivance of sistered 2 x 6s on each side of the beam, pieces of structural steel, a house jack, and two pieces of 3" steel pipe now supports this beam.	Poor condition; due to the large crack; inadequate support at the mortised end; sistered 2'6s do not reach the area of the crack; structural system added in 1990s may be inadequate to support the weight of the beam and floor above, according to structural engineer John Levermore.	4-10 4-11
Floor	18th to 19th century		Hand-made brick and bare earth; very rough with significant tripping hazards.	Poor condition; rough surface; evidence of water running across this section of the floor from the east wall to the southwest end of the west wall.	4-12

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Figure 4-9. The joist ends that rest on the east wall of the south bay have largely rotted away (red arrow). Many now rest on small blocks of wood (green arrows). Photograph by Kathleen Manicke.

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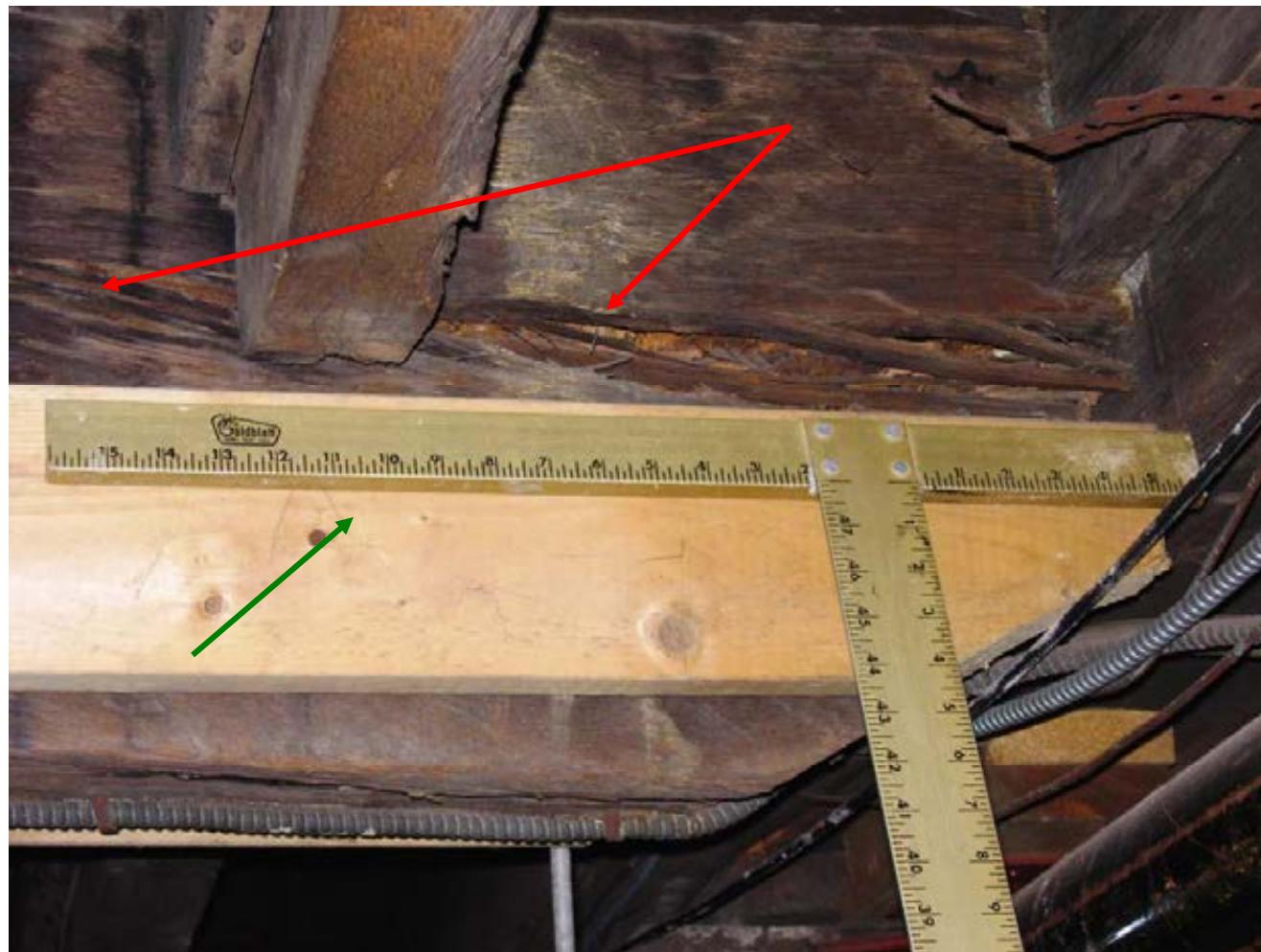


Figure 4-10. The large summer beam in the south bay of the basement has cracked (red arrows). The sistered 2" x 6" fails to support the cracked area resulting in less strength (green arrow). Photograph by Kathleen Manicke.

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Figure 4-11. The end of the summer beam showing a rotten area at its center that was probably there when the house was constructed (red arrow). Photograph by Kathleen Manicke.

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Figure 4-12. Path of water caused by moisture infiltration across the floor of the south bay from the east wall to the west wall (red arrow). This area continues to be damp. Photograph by Kathleen Manicke.

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The Central Bay of Bostwick's Basement

The central bay of Bostwick's basement forms a single room that offers many clues to Bostwick's past. The central is the narrowest of all the bays in the basement. This bay contains a brick-lined drain at its western end. Its floor was paved with brick that has become quite uneven with age. Its eastern and western exterior walls were constructed of stone and its interior walls of brick. The northern brick interior wall holds the "ghost" of a former stairway that led to the basement. Both stone and brick walls exhibit similar attempts at repointing with both a lime-based and cement-based product indicating that the repointing was done at two different times. In addition, the brick of the interior south wall is spalling and/or disintegrating. This could be from moisture infiltration caused by a lack of maintenance to the gutters and downspouts; water also could be wicking up from the ground. The ceiling joists and beams in this bay, although in better condition than those in the south bay, still show signs of settling and cracking. Above the joists, there is three-inch wide, tongue-in-groove oak flooring that was not planed on the side visible from the basement. This flooring material could have been installed by the Stephens or by the Kyners. The single exterior opening is in the west wall and is a double door composed of wooden planking. The southern interior wall is pierced by a double door also constructed of wooden planking that leads to the basement's south bay. The interior wall on the north side of this bay has two door openings—one leads to the west room of the north bay and one to its east room.

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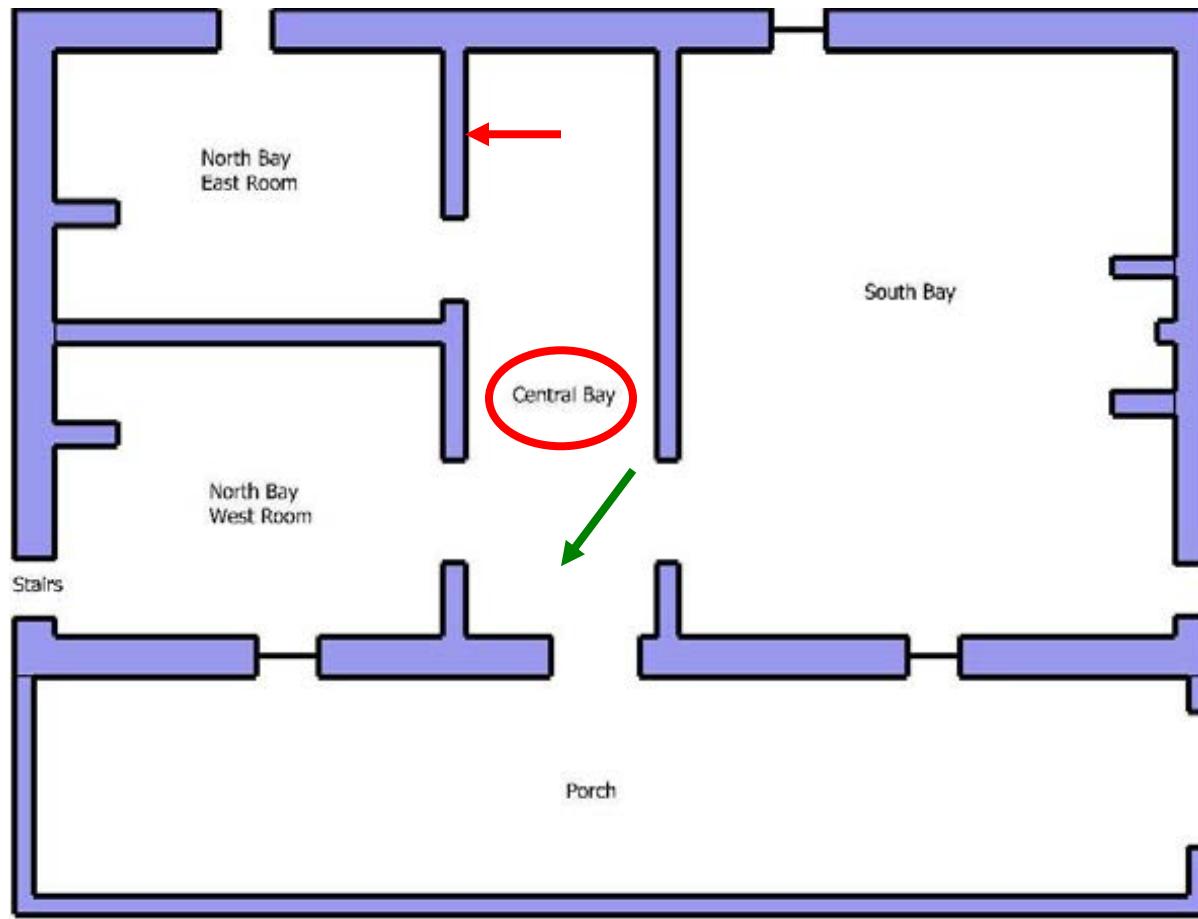


Figure 4-13. Plan of the central bay of Bostwick's basement. The red arrow indicates the location of the “ghost” stairway. The green arrow points to the location of the large floor drain. Drawing by Kathleen Manicke.

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Table 4-6. The West Wall of the Basement's Central Bay.

Location: Basement Central Bay~West Wall					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'1" H x 23' L x 2' Thick	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places.	Fair to poor condition; because of inappropriate parging/repointing; washing of the mortar due to moisture infiltration; presence of black mold caused by damp.	4-14
Double door (1)	18th to 19th century	5'4" W x 5'11" H	Double door constructed of planed tongue-in-groove lumber of an unknown variety; some boards have been replaced with unplaned lumber that has reciprocal saw marks; battens on the south side have been supplemented with additional 1" x 2"; paint/whitewash still visible; large, surface mount lockset with painted steel box is significantly rusted; door is largely obscured by a covering of six inches of fiberglass insulation with a Kraft paper backing.	Fair to poor condition; due to inappropriate repairs; rot evident along lower edge of door.	4-14 4-15
Lintel	18th to 19th century	2½" x 9" x 6'	Constructed of unplaned wood of an undetermined variety.	Fair to good condition; no areas of rot found during random probing.	

Chapter Four: Bostwick's Basement



Figure 4-14. The central bay of Bostwick's basement looking toward the west wall. Notice the paring of the stone wall and the large open drain in the floor. Photograph by Kathleen Manicke.

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Figure 4-15. The steel lockset on the exterior door in the west wall of the basement's central bay. The light weight steel used in this lockset indicates a late nineteenth or early twentieth century date of manufacture. Photograph by Kathleen Manicke.

Chapter Four: Bostwick's Basement

Table 4-7. The North Wall of the Basement's Central Bay.

Location: Basement Central Bay~North Wall					
Item	Date	Size	Description	Condition	Figure #
Brick Wall	1746		Constructed of soft, hand-made brick laid in an irregular pattern of stretchers and ties; slight spalling evident; inappropriate parging in the northwest corner with a cement-based product; shadow of former basement stairs; evidence of paint/whitewash.	Good condition.	4-16
Double door frame for the door leading to the west room of the north bay	Late 20th century	6" x 6" treated	Replacement frame constructed of treated lumber; stop is untreated 1" by 2½" flat lumber.	Good condition.	4-17

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Table 4-7. The North Wall of the Basement's Central Bay, continued.

Double door leading to the west room of the north bay	18th to 19th century	72" W x 82" H	Hand-built wooden plank door of an unknown variety of wood; east panel is 31" by 74½" and is constructed for tongue-in-groove boards that are 3¼" wide; the upper strap hinge on the east panel is 22" long and appears to be hand-forged with four large nail-like fasteners that are approximately ¾" to 1" in diameter; the bottom hinge of the east panel is 14" long with two large fasteners remaining with the others replaced by wood screws; the top batten on the east panel is 7" wide with a shallow 1½" bevel; the lower batten is 10" wide with the same bevel; the side opposite the hinges on the east panels has holes for a latch and lock; the west panel is constructed of random width, tongue-in-groove lumber and may not be original to this location; upper strap hinge on the west panel is 21" long and held in place by various types/sizes of wood screws; one of the boards in the west panels bears what appears to be a single scribe mark similar to those found in the attic; the lower strap hinge is 14" long; the hinge side of the door has a keyhole indicating that the door has either been turned or came from a different location; there are two boards missing from the west panel that are stored in the west room of the north bay of the basement.	Fair to poor condition; missing boards; replaced fasteners on the west panel hinges; significant rot and insect damage on the bottoms of both panels and the top of the west panel.	4-17
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Chapter Four: Bostwick's Basement

Table 4-7. The North Wall of the Basement's Central Bay, continued.

Passageway leading to the east room of the north bay		61" W x 84" H	Finished opening in the brick wall leading to the east room of the north bay; some spalling of the brick around the opening; some plaster remains around this opening.	Fair to good condition.	
Passageway lintel			Consists of three separate boards; the center is a 7" W by 2¾" board laid flat and sandwiched between two 3" x 4" boards; the center board has a large crack at its west end; the lintel is topped with brick infill.	Fair condition with a slight degree of sag.	

Building at Risk



Figure 4-16. The ghost of a former stairway along the central bay's north wall. Photograph by Kathleen Manicke.

Chapter Four: Bostwick's Basement



Figure 4-17. The door leading from the central bay to the west room of the north bay. Note the large strap hinge's square nails, and water damage on the bottom of the planks.

Building at Risk

Table 4-8. The East Wall of the Basement's Central Bay

Location: Basement Central Bay~East Wall					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'2" H x 23' L	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places.	Fair to good condition; less moisture infiltration apparent here than in south bay.	

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Table 4-9. The South Wall of the Basement's Central Bay.

Location: Basement Central Bay~South Wall					
Item	Date	Size	Description	Condition	Figure #
Brick wall	1746		Built of soft, handmade brick with an irregular pattern of stretchers and ties; contains areas of inappropriate repointing/parging with both lime-based and cement-based products.	Fair to good condition; because of inappropriate parging/repointing; spalling of the brick due to moisture infiltration; deteriorating mortar.	
Double door (west panel)	18th to 19th century	Entire door is 65" W x 72" H; west panel is 33" W x 71" H x $\frac{15}{16}$ " thick	Random width lumber of undetermined variety showing races of paint/whitewash; no saw marks evident; top batten is 1" by 6" with beveled edges; top batten has two large wrought nails at each end and two smaller square nails in the center area; round-headed wire nails are also present on this batten; holes in the door indicate that the door once had hardware for a latch; this panel has older strap-type hinge on the top. newer and smaller strap hinge has been added to the bottom.	Fair condition; the bottom of the west door panel has evidence of moisture damage and rot; strap hinges exhibit severe rust.	

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Table 4-9. The South Wall of the Basement's Central Bay, continued.

Double door (east panel)	18th to 19th century	Entire door is 65" W x 72½" H; west panel is 33" W x 71" H x $15/16$ " thick	The east panel of the double door is built of random width tongue-in-groove lumber with the widths ranging from 3" W to 4¼" W; undetermined variety of wood; the top batten is 1" x 7" x 29½" and is held in place by wrought nails; slight bevel on the top and bottom edges of this batten; the lower batten is 1" x 9½" x 31" with a section measuring approximately 6' H by 2" W cut and removed from the lower latch side; holes for hardware found on the same side as the hinges indicate that this door may have hung in another place or been turned at some time; the side of this door facing the central bay contains stenciling that is illegible except for "4th"; strap hinges are 1¾" at the widest point and 10" long; the shadow of the bottom hinge remains on the door; contains traces of paint/whitewash; scrape marks indicate the location of a former latch (perhaps wooden).	Fair condition; the door has been trimmed unevenly at both the top and bottom; the bottom exhibits signs of rot and decay.	
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Chapter Four: Bostwick's Basement

Table 4-9. The South Wall of the Basement's Central Bay, continued.

Door frame and stop for double door	18th to 20th century	4" x 8"	The east upright has been cut and the lower 25" replaced with brick; the bottom 4" on the west upright shows signs of rot and decay; the stop is 1" x 6½" flat unplaned lumber of an unknown variety that exhibits signs of rot and decay; this door stop shows what may be reciprocal saw marks; stop has nails with square heads; some paint/whitewash; traces of paint include reddish/brown color underneath a lighter coat of white or gray.	Fair to good condition; although there are significant areas of rot, much of the wood appears sound upon probing; inappropriate repairs with materials different from the original.	
Lintel	18th to 19th century	3" x 7"	Hewn lumber of undetermined variety; separated from the upper door frame by a single row of brick infill.	Fair condition; shows some sagging; some rot at the east end.	

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Table 4-10. The Ceiling and Floor of the Basement's Central Bay.

Location: Basement Central Bay~Ceiling and Floor					
Item	Date	Size	Description	Condition	Figure #
Joists	1746	3"-4" W x 8"-9" H	Joists in the central bay run north-south and are of an undetermined variety of wood; some sistered with smaller flat lumber apparently to level the floors above --others have nailing blocks; joists at the eastern end were cut to allow for stairs; second joist from eastern end has large crack due to flaw in the lumber--has sisters on the east side that don't reach the cracked area; random probing shows little or no rot.	Fair to good condition.	
Sub-flooring above joists	19th to 20th century	2½" W	Machine-sawn, random length, tongue-in-groove flooring of an undetermined variety of wood; side facing the basement is not planed; saw marks indicate that it was milled with a circular saw; boards run from east to west at a right angle to the joists.	Good to excellent condition with no evidence of rot upon probing.	
Floor	18th to 19th century		Hand-made brick and bare earth; very rough with significant tripping hazards, large, open floor drain approximately 2 feet in diameter located at the west end of this bay.	Poor condition; rough surface; evidence of water running across this section of the floor from the east wall to the southwest end of the west wall.	4-14 4-18

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Figure 4-18. The large brick-lined floor drain in the central bay. Notice the uneven surface of the floor itself. Photograph by Kathleen Manicke.

Building at Risk

The North Bay of Bostwick's Basement

The north bay of the basement at Bostwick is divided into two rooms. The east room is entered from the central bay through a door opening that has only brick framing. The west room is accessed in two ways—from a double door into the central bay and from a set of concrete steps leading to the kitchen in the Stoddert-era addition. Both rooms in this bay exhibit the stone exterior and brick interior walls found in the rest of the basement. In addition, there are two brick relieving arches in this bay, one of which can be found in each of the bay's two rooms.

Chapter Four: Bostwick's Basement

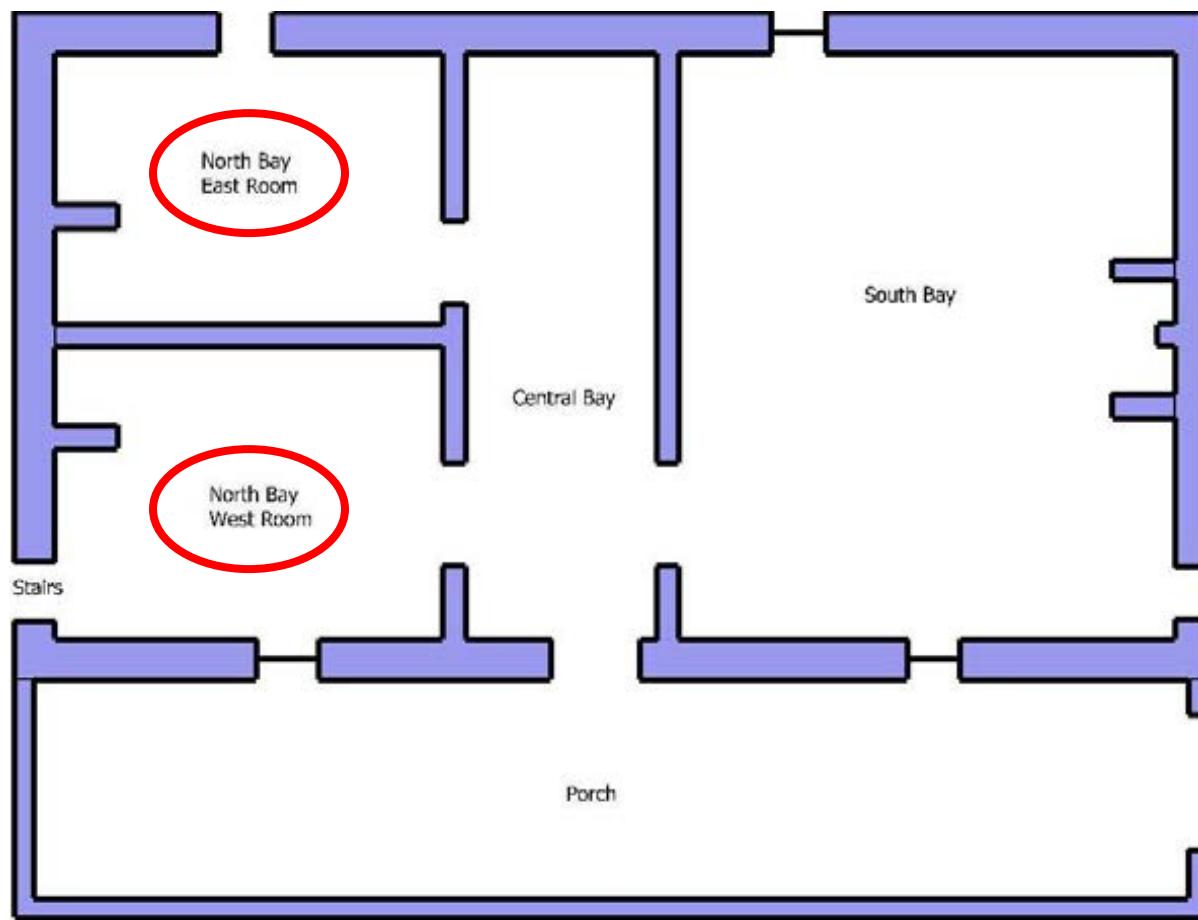


Figure 4-19. The north bay of Bostwick's basement. Drawing by Kathleen Manicke.

Building at Risk

Table 4-11. The West Wall of the West Room in the Basement's North Bay.

Location: Basement North Bay~West Wall of the West Room					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'4'H	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places; stone is further obscured by a waterproof coating of unknown type.	Fair to good condition.	4-23
Window lintel	18th to 19th century	3" x 77" L	Hewn lumber of undetermined variety set into the stone wall.	Fair to good condition; probing reveals no rot on the side facing the room.	
Window	19th to 20th century	24" H x 33" W	Window sash has been removed and covered with fiberglass insulation.	Poor condition; sash is missing.	

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Table 4-12. The North Wall of the West Room in the Basement's North Bay.

Location: Basement North Bay~North Wall of the West Room					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'4' H	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places; the stone on this wall is further indication that this was once the north end wall of the house.	Fair to good condition.	
Stairs	Late 19th-20th century		Concrete stairs in the northwest corner lead to the Stoddert kitchen wing and most likely date to the Kyner renovation in 1904 or later; stairs are steep with inconsistent tread depths and rises; lack handrail; as stairs pass under the house's sill plate, there is only 4' of headroom.	Fair to good condition.	4-24

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Table 4-12. The North Wall of the West Room in the Basement's North Bay, continued.

Relieving arch	1746	73" H x 85" W by 4' deep	Stone and brick relieving arch that supports the chimneys and fireplaces above; the back wall of the arch is part of the stone foundation wall; brick Roman arch; inappropriate parging above and inside the arch makes it difficult to determine the type of mortar and its condition; some spalling of the brick, particularly at the top of the arch; moisture infiltration has washed away the mortar and brick at the rear of the arch.	Fair to good condition.	4-20 4-21
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Table 4-13. The East Wall of the West Room in the Basement's North Bay.

Location: Basement North Bay~East Wall of the West Room					
Item	Date	Size	Description	Condition	Figure #
Brick wall	18th to 19th century		Interior wall built of soft, hand-made brick laid in an irregular pattern; inappropriate repointing with cement-based mortar; northern corner of this wall joins with the relieving arches in both the east and west rooms of this bay; ceiling joists pass through this wall.	Good condition.	

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Table 4-14. The South Wall of the West Room in the Basement's North Bay.

Location: Basement North Bay~South Wall of the West Room					
Item	Date	Size	Description	Condition	Figure #
Brick Wall	1746		Constructed of soft, hand-made brick laid in an irregular pattern of stretchers and ties; slight spalling evident; inappropriate parging in the northwest corner with a cement-based product; shadow of former basement stairs on its central bay side; evidence of paint/whitewash.	Good condition.	
Double door frame for the door leading to the west room of the north bay	Late 20th century	6" x 6" treated	Replacement frame constructed of treated lumber; stop is untreated 1" by 2½" flat lumber.	Good condition.	

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Table 4-14. The South Wall of the West Room in the Basement's North Bay, continued.

Double door leading to the west room of the north bay	18th to 19th century	72" W x 82" H	Hand-built wooden plank door of an unknown variety of wood; east panel is 31" by 7½" and is constructed of tongue-in-groove boards that are 3¼" wide; the upper strap hinge on the east panel is 22" long and appears to be hand-forged with four large nail-like fasteners that are approximately ¾" to 1" in diameter; the bottom hinge of the east panel is 14" long with two large fasteners remaining with the others replaced by wood screws; the top batten on the east panel is 7" wide with a shallow ½" bevel; the lower batten is 10" wide with the same bevel; the side opposite the hinges on the east panel has holes for a latch and lock; the west panel is constructed of random width tongue-in-groove lumber and may not be original to this location; upper strap hinge on the west panel is 21" long and held in place by various types/sizes of wood screws; one of the boards in the west panels bears what appears to be a single scribe mark; the lower strap hinge is 14" long; the hinge side of the door has a keyhole indicating that the door has either been turned or came from a different location; there are two boards missing from the west panel that are stored in the west room of the north bay of the basement.	Fair to poor condition; missing boards; replaced fasteners on the west panel hinges; significant rot and insect damage on the bottoms of both panels and the top of the west panel.	
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Chapter Four: Bostwick's Basement

Table 4-15. The Ceiling and Floor of the West Room in the Basement's North Bay.

Location: Basement North Bay~Ceiling and Floor of the West Room					
Item	Date	Size	Description	Condition	Figure #
Joists	1746	3"to 4" W x 8" to 9" H	Joists in the this bay run east-west and are of an undetermined variety of wood; some are sistered with smaller flat lumber apparently to level the floors above--others have nailing blocks; although some frassing is evident, joists in this room appear sound upon probing.	Fair to good condition.	4-25
Subflooring	18th to 19th century	2½"W	Constructed of tongue-in-groove flooring with a routed bead down the center.	Good condition.	4-25
Flooring	18th to 19th century		Floor seems to be made of a more modern type of pressed brick, likely dating to the Kyner restoration; the floor is more even than floors in other parts of the basement; floor has been painted.	Good condition; with some tree roots causing small uneven areas.	4-20

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Figure 4-20. The west room of the north bay in Bostwick's basement showing the west stone wall as well as the stairs and relieving arch on the north wall. The large pipes are for the steam heating system. Photograph by Kathleen Manicke.

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Figure 4-21. The relieving arch in the west room of the basement's north bay. The northern stone wall of the basement forms the back wall of the arch. Notice the spalling brick at the top of the arch. Photograph by Kathleen Manicke.

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Figure 4-22. The spalling at the top of the relieving arch in the west room of the basement's north bay. Spalling is only slight at this time. Photograph by Kathleen Manicke.

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Figure 4-23. The west wall of the west room in the basement's north bay. The wall has been inappropriately treated with a waterproofing material. Photograph by Kathleen Manicke.

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Figure 4-24. There is very little headroom, approximately four feet, in the existing stairs to Bostwick's basement. Photograph by Kathleen Manicke.

Chapter Four: Bostwick's Basement



Figure 4-25. One of the joists in the west room of the basement's north bay. This joist was made from lumber containing a large knot. This has caused sagging in the joist, resulting in an uneven floor above. This joist likely dates to the construction of Bostwick in 1746. Photograph by Kathleen Manicke.

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Table 4-15. The West Wall of the East Room in the Basement's Central Bay.

Location: Basement North Bay~West Wall of the East Room					
Item	Date	Size	Description	Condition	Figure #
Brick wall	18th to 19th century		Interior wall built of soft, hand-made brick laid in an irregular pattern; inappropriate repointing with cement-based mortar; northern corner of this wall joins with the relieving arches in both the east and west rooms of this bay; ceiling joists pass through this wall.	Good condition.	4-26

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Table 4-16. The North Wall of the East Room in the Basement's North Bay.

Location: Basement North Bay~North Wall of the East Room					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'4' H	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places; the stone on this wall is further indication that this was once the north end wall of the house.	Fair to good condition.	4-26
Relieving arch	1746	73" H x 85" W by 4' deep	Stone and brick relieving arch that supports the chimneys and fireplaces above; the back wall of the arch is part of the stone foundation wall; brick Roman arch; inappropriate parging/painting above and inside the arch makes it difficult to determine the condition and type of mortar.	Fair to good condition.	4-26

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Table 4-17. The East Wall of the East Room in the Basement's North Bay.

Location: Basement North Bay~East Wall of the East Room					
Item	Date	Size	Description	Condition	Figure #
Stone wall	1746	7'4" H	Irregularly sized, uncoursed, undressed stone of undetermined variety; large areas of inappropriate repointing at two different times--once with what appears to be a lime-based product and once with a cement-based mortar; mortar joints were not properly struck after repointing and obscure the stone in some places.	Fair to good condition.	4-26 4-27
Door to outside stairs	1746	32" W by 6' H	Door is nailed shut and covered with six inches of fiberglass batt insulation with a Kraft paper backing.	Undetermined.	4-26

Chapter Four: Bostwick's Basement

Table 4-18. The South Wall of the East Room in the Basement's North Bay.

Location: Basement North Bay South Wall of the East Room					
Item	Date	Size	Description	Condition	Figure #
Brick wall	18th to 19th century		Interior wall built of soft, hand-made brick laid in an irregular pattern; inappropriate repointing with cement-based mortar.	Good condition.	4-27
Passageway leading to the east room of the north bay from the central bay	19th to 20th century	61" W x 84" H	Finished opening in the brick wall leading to the east room of the north bay; some spalling of the brick around the opening; some plaster remains around this opening.	Fair to good condition.	4-27
Passageway lintel			Consists of three separate boards; the center is a 7" W by 2¾" board laid flat and sandwiched between two 3" x 4" boards; the center board has a large crack at its west end; the lintel is topped with brick infill.	Fair condition with a slight degree of sag.	

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Table 4-19. The Ceiling and Floor of the East Room of the Basement's North Bay.

Location: Basement North Bay~Ceiling and Floor of the East Room					
Item	Circa	Size	Description	Condition	Figure #
Joists	1746	3"-4" W x 8"- 9"H	Joists in the this bay run east-west and are of an undetermined variety of wood; some are sistered with smaller flat lumber apparently to level the floors above--others have nailing blocks; a structure built of 3" pipe supports a cracked joist near the opening to this room; pass through the wall separating the east and west rooms.	Fair to good condition.	4-28 4-29
Subflooring	18th to 19th century	2 1/2" W	Constructed of tongue-in-groove flooring with a routed bead down the center.	Good condition.	
Floor	18th to 19th century		Hand-made brick and bare earth; very rough with significant tripping hazards.	Fair to poor condition with areas that are unpaved and areas that, although paved, are uneven.	

Chapter Four: Bostwick's Basement



Figure 4-26. The east room of the basement's north bay looking at the northeast corner. The relieving arch and door to the exterior stairs are visible in the photograph. Photograph by Kathleen Manicke.

Building at Risk



Figure 4-27. The relieving arch in the east room of the basement's north bay. Photograph by Kathleen Manicke.

Chapter Four: Bostwick's Basement



Figure 4-28. This pipe structure supports the floor above. It located near the passage opening in the south wall of the east room.
Photograph by Kathleen Manicke.

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Figure 4-29. Pipe structure supporting the floor above. It provides a nailing surface for the floor above. Photograph by Kathleen Manicke.

Chapter Four: Bostwick's Basement

Summary

There are numerous concerns in Bostwick's basement that warrant attention. Primary among these is the rot and deterioration of the joists and beams caused by moisture infiltration. Immediate attention should be given to the joist ends along the east wall of the basement's south bay. The ends of the structural members in this area display significant rot and deterioration. Prior efforts to support the ends of the joists and beams with shims were simply inadequate. Although not as severe, similar conditions exist along the west wall as well. These conditions, too, must be remediated quickly. Structural support should be given to the joists at both ends of the south bay. In addition, the rotted ends of the joists should be sistered with sound material. Finally, the source of moisture in the entire basement should be sought and corrected.

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Five:

Bostwick's First Floor



Chapter 5: Bostwick's First Floor

Introduction

Bostwick's visitors enter through the colonial revival porch on the west façade. Their first glimpse of the mansion's former glory is of the high-ceilinged central hall with its magnificent staircase. Early twentieth century visitors would have admired the dining room's walnut paneling and large corner cupboard as well as the library's decorative plaster treatments. It is the south parlor, however, that gives today's visitors a true picture of the lifestyles of the elite during Maryland's late colonial and early federal periods.

The South Parlor

The south parlor at Bostwick is a large, sunlit room featuring high ceilings and large windows. The room is dominated by a massive fireplace in the Georgian style. The room's importance in the house is highlighted by its incised plaster paneling that is known to exist in only two other houses of this period in Maryland, the circa 1727 Carroll House in Annapolis and the circa 1746 Belair Mansion in Bowie. The ceiling and the walls are separated by a large plaster scotia cove molding with double beading on both edges. The room contains outstanding bolection chair rail molding and paneled window and door surrounds. Four of the six windows are large four-over-four, double-hung sash. The remaining two windows are twenty-over-twenty, double-hung sash topped by fixed, geometric stained glass lights. The floor is a late twentieth-century hardwood flooring system (figures 5-1 and 5-2).

The tables on the following pages present a detailed description of the walls and ceiling in the south parlor

Building at Risk

as well as an assessment of existing conditions as of June 1, 2007. Photographs also are included.

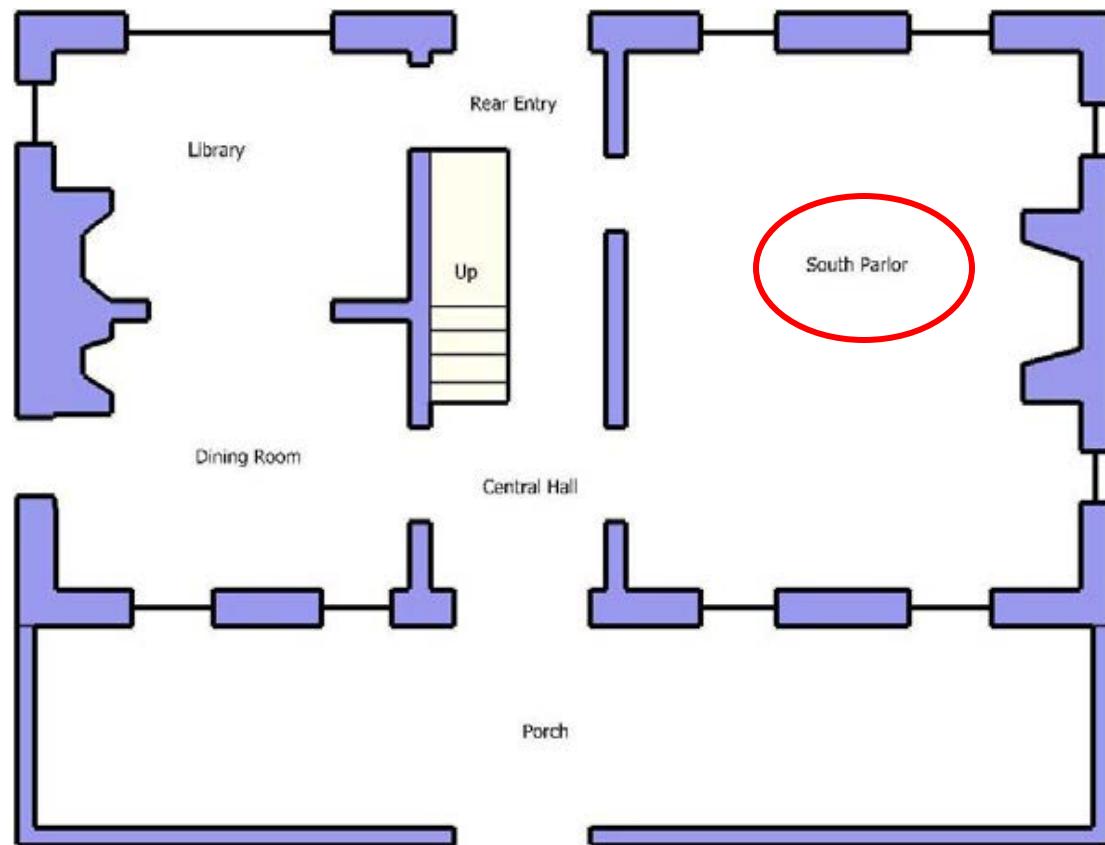


Figure 5-1. Floor plan of Bostwick's first floor showing the south parlor. Drawing by Kathleen Manicke.

Chapter 5: Bostwick's First Floor



Figure 5-2. Bostwick's south parlor. Photograph by Kathleen Manicke.

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Table 5-1. The West Wall of the South Parlor on Bostwick's First Floor.

Location: South Parlor~West Wall					
Item	Date	Size	Description	Condition	Figure #
Windows	Early 20th century— circa 1904 Kyner restoration	44"W x 103"H	20-over-20; wooden; double-hung sash with stained glass transom above.	Fair to good.	5-3 5-4
Window hardware (2 sets)	Early 20th century	N/A	Latches and pulls typical for time period; pulley system uses ½-inch steel strap instead of rope or chain.	All latches and pulls present and working; steel straps for pulleys are broken.	
Window Framing	18th to 19th century		Wooden; paneled.	Excellent to good; some have excised areas for shutter hinges (shutters not currently on windows).	5-3 5-4
Window casing	18th to 19th century	6" wide	Typical of the Georgian period. "Double" casing planed into two distinct fasciae. The inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Good condition	5-3 5-4
Window stool	18th to 19th century		Wide, deep window stool coupled with paneled window framing provide embrasures for seating.	Good condition.	5-3 5-4

Chapter 5: Bostwick's First Floor

Table 5-1. The West Wall of the South Parlor on Bostwick's First Floor, continued.

Plaster walls	18th century	N/A	Red-mud base coat over masonry exterior walls; white skim coat; rare incised paneling likely original to the house; total of 6 panels (3 upper and 3 lower); upper panels 7' high; lower panels 1' high; widths vary.	Fair to good; some cracking at both corners; panels presently covered with mid-20th century floral wallpaper.	5-3
Cove molding	18th century	8" high	Cove molding separates ceiling and wall; double bead along top and bottom edges.	Generally fair; poor at southwest corner due to severe cracking.	5-3
Chair-rail Molding	18th century	12" high	12 inch wide; 1 inch thick; single bead along both top and bottom edges; wide bolection molding in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th century date.	Excellent.	5-3
Baseboard	18th to 19th century	10" high	Comprised of a flat board 8" high topped by a 2" piece of ogee molding.	Good condition; has pulled away from wall due to settling/movement of the house; inappropriate fill causes it to sit over 1 inch away from the wall in places.	5-3

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Figure 5-3. The west wall in the south parlor. Photograph by Kathleen Manicke.

Chapter 5: Bostwick's First Floor



Figure 5-4. West wall window. Photograph by Kathleen Manicke.

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Table 5-2. The North Wall of the South Parlor on Bostwick's First Floor.

Location: South Parlor~North Wall					
Item	Date	Size	Description	Condition	Figure #
Doors (2)	Late 18th to early 19th century	35" W x 90½" H	Flat panel on side facing into room and raised panel on side facing hallway; "cross and Bible" type; visible tenons along vertical edges of rails.	Good condition.	5-5
Door locksets and catches (2)	19th-20th century	6" W x 3½" H	Late 19th- or early 20th-century black painted steel box lock; glass door knobs; lockset mounted on room side of door; round, brass-colored doorknob rose; oval, brass-colored, escutcheon plate; catches on casings not original to door (poorly filled repairs indicate presence of larger catch at some previous time).	Good condition although they have been repainted; operable.	
Northeast door hinges (1 set)	19th-20th century		5 part, pin-type hinge.	Good condition; operable.	
Southeast door hinges	Early 19th century		2 part, early type manufactured hinge.	Good condition; operable.	

Chapter 5: Bostwick's First Floor

Table 5-2. The North Wall of the South Parlor on Bostwick's First Floor, continued.

Plaster	18th century; changes and repairs vary	N/A	Rare incised plaster paneling that may be original to the house; the panels over the doors contain paintings in the romantic style by owner Jules Dieudonne done in the late 19th century; plaster is over masonry interior wall.	Overall condition of the plaster paneling on this wall is poor; Significant cracking.	5-6 5-7
Cove molding	18th century	8" high	Plaster cove molding separates ceiling and wall; double bead along top and bottom edges.	Fair condition; moderate to severe cracking over both doors.	5-6
Door casing	18th to19th century	6" wide	Typical of the Georgian period. "Double" casing planed into two distinct fascias. The Inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Excellent condition.	5-5
Door framing	18th to19th century	6" wide	Wooden; paneled.	Excellent condition.	5-5
Chair rail molding	18th century	12" high	12" wide; 1" thick; single bead long both top and bottom edges; wide bolection molding in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th century date.	Excellent condition.	5-5
Baseboard	18th to19th century	10" high	Comprised of a flat board 8" high topped by a 2" piece of ogee molding.	Good condition; has pulled away from wall due to settling/movement of the house; inappropriate fill causes it to sit over 1 inch away from the wall in places.	5-5

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Figure 5-5. The north wall in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-6. Cove molding and painted panels on the north wall in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-7. Damage to the painted panels in the south parlor. Photograph by Kathleen Manicke.

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Table 5-3. The East Wall of the South Parlor on Bostwick's First Floor.

Location: South Parlor~East Wall					
Item	Date	Size	Description	Condition	Figure #
Windows (2)	19th century	44" W x 103" H	Wooden; four-over-four, double sash with lower sash operable; wide vertical and narrow horizontal muntins; lights are 19' by 19".	Good overall condition; 3 cracked lights.	5-8 5-10
Hardware	20th century	N/A	Brass plated steel latches and thumb-type pulls; pin assemblies for operating sash are present.	Good condition; operable	
Window Frame	18th to19th century	N/A	Wooden; paneled; hinges for interior shutters still present.	Excellent condition	5-8 5-10 5-11 5-12
Window Casing	18th to19th century	6' wide	Typical of the Georgian period. "Double" casing planed into two distinct fasciae. The Inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Excellent condition.	5-8 5-10 5-11 5-12 5-13
Window Stool (2)	18th to19th century	16" D x 1½" thick	Wide, deep window stool forms embrasure at appropriate height for sitting.	Excellent condition; some paint failure.	5-8 5-10 5-11
Cove Molding	18th century	8"H	Cove molding separates ceiling and wall; double bead along top and bottom edges.	Slight to moderate cracking.	5-8

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Table 5-3. The East Wall of the South Parlor on Bostwick's First Floor, continued.

Plaster	18th century	N/A	Red-mud base coat over masonry walls; white skim coat; rare incised paneling likely original to the house; upper panels are 7' high; lower panels are 1' high; panels vary in width.	Severe cracking and plaster spalling caused by dampness prior to the installation of gutters in 2006; wallpaper exhibits waterline; lower plaster panels likely not original since they are not aligned with the upper panels and not plumb; severe bowing in the upper northeast corner which is 2"-3" out of plumb; large area in NE corner where plaster has crumbled from the wall.	5-9 5-12
Chair rail molding	18th century	12" H	12" wide; 1" thick; single bead along both top and bottom edges; wide bolection molding in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century date.	Excellent condition.	
Baseboard	18th to 19th century	10" H	Comprised of a flat board 8" H topped by a 2" piece of ogee molding.	Good condition; has pulled away from wall due to settling/movement of the house; inappropriate fill causes it to sit over 1 inch away from the wall in places.	5-8 5-14

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Figure 5-8. The east wall in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-9. Damage from moisture infiltration at the north corner of the east wall in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-10. East wall window in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-11. Window embrasure on the east wall of the south parlor. Photograph by Kathleen Manicke.

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Figure 5-12. Paneled window frame on the east wall of the south parlor. The red arrow points to where the shutters were once hinged. Also note the damage to the wallpaper caused by moisture wicking up from the foundation (green circle). Photograph by Kathleen Manicke.

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Figure 5-13. The east wall window casing is typical of that in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-14. East wall damage to baseboard. Arrow points to where baseboard has pulled away from the wall. Photograph by Kathleen Manicke.

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Table 5-4. The South Wall of the South Parlor on Bostwick's First Floor.

Location: South Parlor~South Wall					
Item	Date	Size	Description	Condition	Figure #
Windows (2)	19th century	32" W x 86" H	Wooden, four-over-four, double sash windows; only lower sash is operable; lights are 13½" x 19", vertical muntins are 1½" wide; horizontal muntins are ½" wide.	Sash in excellent condition; older type glass has waves, bubbles, and flaws.	5-15
Window hardware	19th-20th century	N/A	Latches and pulls have been removed; southwest window has pin assembly for raising/lowering window; southeast window has no visible means of operating the sash.	Latches and pulls missing from both windows; pin assembly on southwest window in working order.	
Window framing	18th to 19th century		Wooden; paneled.	Excellent to good; some have excised areas for shutter hinges (shutters not currently on windows but some are stored in the barn's second level).	5-15 5-16
Window casing	18th to 19th century	6" wide	Typical of the Georgian period. "Double" casing planed into two distinct fascias. The inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding	Good condition.	5-15 5-16
Window stool	18th to 19th century		Wide, deep window stool composed of wood.	Good condition; some paint failure.	

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Table 5-4. The South Wall of the South Parlor on Bostwick's First Floor, continued.

Fireplace and mantle	19th century	80" H x 112" W	Greek temple style fireplace mantle and surround made using milled moldings; cornice molding is of Greek Revival or later period and is highly decorated; simple, unadorned architrave; crosset molding surrounds firebox opening; rounded, fluted, engaged columns of the Doric order with simple capitals and square bases; fireplace projects 4' into room.	Condition is excellent; pulling away from the wall at the southwest corner; gap is currently 2 inches or less.	5-17 5-18
Baseboard	18th to 19th century	10" high	Comprised of a flat board 8" high topped by a 2" piece of ogee molding.	Good condition; has pulled away from wall due to settling/movement of the house; inappropriate fill causes it to sit over 1 inch away from the wall in places.	5-15
Chair rail molding	18th century	12" high	12" wide; 1" thick; single bead along both top and bottom edges; wide bolection molding in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century date.	Excellent.	5-15
Radiators (2)	20th century	48"W x 30"H	Unadorned cast iron radiators for steam heat that are of newer vintage than those in some other parts of the house.	In working condition; some paint failure.	5-15

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Table 5-4. The South Wall of the South Parlor on Bostwick's First Floor, continued.

Plaster	18th century; repairs vary	N/A	Red-mud base coat over masonry exterior walls; white skim coat; rare incised paneling likely original to the house; 8 upper panels and 6 lower panels; upper panels vary in both width and height; lower panels are 1' high and of varied widths.	Plaster in fair to poor condition overall; some moderate cracking; inappropriate repairs to plaster around the fireplace have obscured panel profiles; faux painting attempted to mimic look of panels; cracking is generally moderate but severe in southwest corner; some plaster is loose and crumbling behind wallpaper.	5-19
Cove molding	18th century	8" H	Cove molding separates ceiling and wall; double bead along top and bottom edges.	Fair condition; cracking is generally moderate but severe at southwest corner.	5-17

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Figure 5-15. South wall window and radiator in the south parlor. Photograph by Kathleen Manicke.

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Figure 5-16. Window paneling on the south wall. Note the hinges for shutters. Photograph by Kathleen Manicke.

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Figure 5-17. The fireplace on the south wall of the south parlor. Photograph by Kathleen Manicke.

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Figure 5-18. Fireplace detail in the south parlor. Damage is likely caused by the movement of the house at the southwest corner. Photograph by Kathleen Manicke.

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Figure 5-19. Cracking on the south wall of the parlor caused by the settling of the house at the southwest corner. Photograph by Kathleen Manicke.

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Table 5-5. The Ceiling of the South Parlor on Bostwick's First Floor.

Location: South Parlor~Ceiling					
Item	Date	Size	Description	Condition	Figure #
Flat plaster			Flat plaster ceiling with a smooth finish.	Poor condition; painted finish. Large number of long cracks measuring less than $\frac{1}{8}$ " across. Three large repaired areas. First is approximately 3' x 2' and is located near the front windows. The second, and largest, repair runs across the room from the area immediately over the fireplace to the wall between the doors leading to the central hall. This repair is 12" to 24" wide and dates from the Sillman structural study. The final repaired area is 3' by 2' and is in the southeast corner. There are no decorative elements or lighting fixtures on this ceiling.	

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The Center Hall, Rear Entry, and Landing

Visitors enter Bostwick's center hall through a wide front door with sidelights and an elaborate frontispiece topped with an elliptical fanlight. This center hall is dominated by a grand colonial revival staircase that rises to the second floor. All of the walls below the chair rail in this area are embellished with an organic design in plaster consisting of trailing flowers, buds, and leaves. In addition, the house's original chimney piece bearing the inscription "1746" hangs in this hall. At the end of the hall is a colonial revival archway through which the rear entry can be seen. The floor is a late twentieth-century flooring system (figures 5-20, 5-21, and 5-22).

The tables on the following pages present a detailed description of the walls and ceiling in the center hall as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in the hall follow each table.

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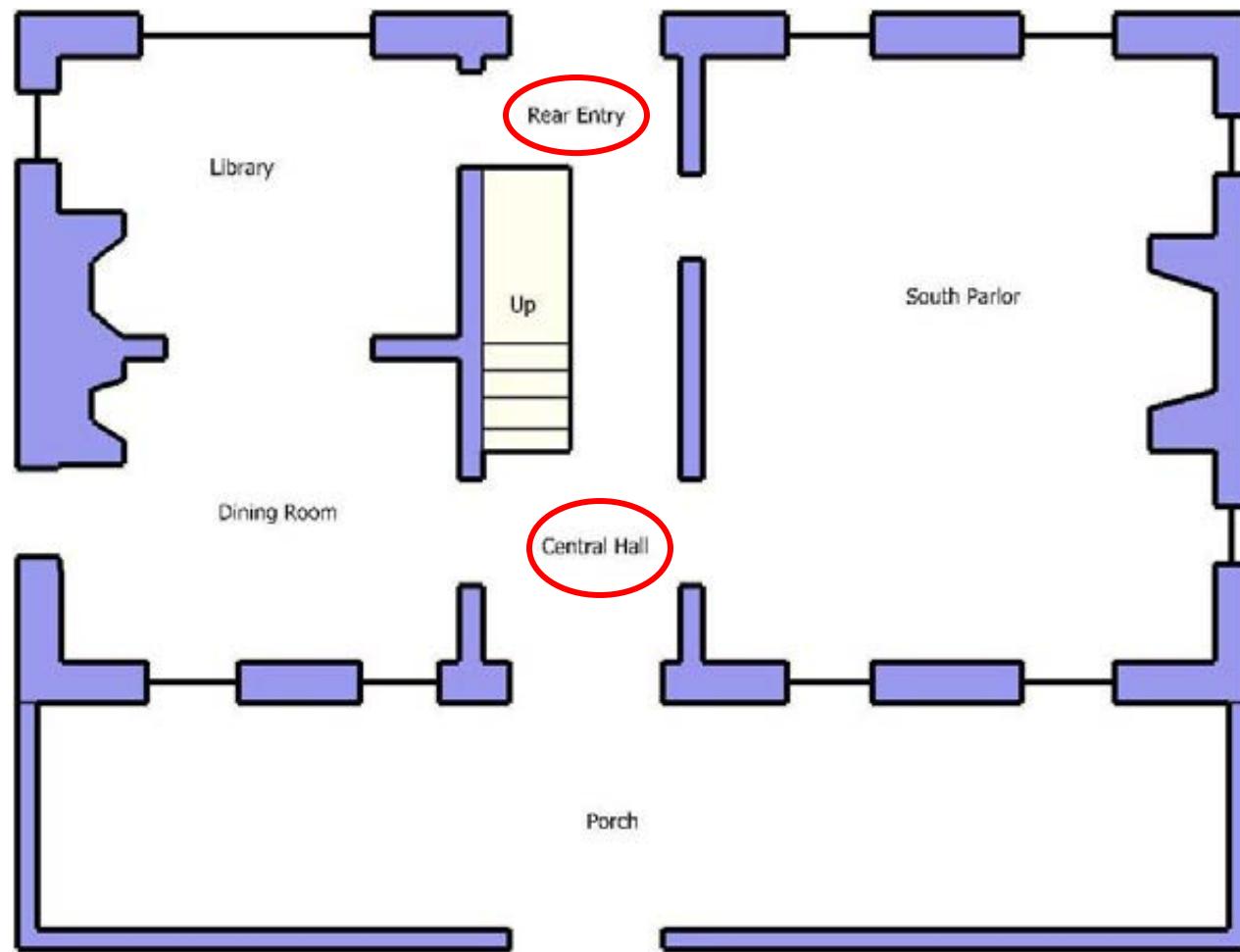


Figure 5-20. Plan showing the center hall and rear entry on the first floor. Drawing by Kathleen Manicke.

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Figure 5-21. Bostwick's center hall. Photograph by Kathleen Manicke.

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Figure 5-22. Bostwick's original chimney piece. It reads "1746." Photograph by Kathleen Manicke.

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Table 5-6. The West Wall of the Center Hall on Bostwick's First Floor.

Location: Center Hall~West Wall					
Item	Date	Size	Description	Condition	Figure #
Door (1)	Circa 1904 Kyner Restora-tion	38" W x 82" H	Wooden; divided light in upper portion has four-over-five lights; 2 panels below.	Excellent condition; painted finish.	5-23
Side lights (2)	Circa 1904 Kyner Restora-tion	15" W x 82" H	Wooden; two-over-six divided lights above; 2 horizontal panels below.	Excellent condition; painted finish.	5-23
Fanlight (1)	Circa 1904 Kyner Restora-tion	20" H x 75" W	Elliptical; divided light sunburst pattern.	Excellent condition; painted finish.	5-23
Door hardware (1 set)	Circa 1904 Kyner Restora-tion		Hinges are pin-type brass colored cast metal; doorknob is brass-colored oval with round rose; lockset is mortised into door rail; lock is dead-bolt type operated by brass-colored thumb screw with rectangular escutcheon plate; door knocker sounding plate is centered at top of panels and is round, brass-colored, 3 inches in diameter.	Operable.	

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Table 5-6. The West Wall of the Center Hall on Bostwick's First Floor, continued

Pilasters (2)	Circa 1904 Kyner Restora-tion	7" W	Thee flank sidelights; fluted columns, unadorned architrave; capital is composed of cornice molding that extends across the door and sidelight openings; base composed of 3 types of machined molding.	Excellent condition; painted finish.	5-23 5-24
Fanlight casing	Circa 1904 Kyner Restora-tion	7" W	Curved.	Excellent condition; painted finish.	5-23
Flat plaster	Unknown		Flat plaster over masonry structural wall; textured finish	Good condition; textured finish shows some repairs giving it an uneven look; plaster, however, is sound.	
Crown molding	19th-20th century	13" H	Elaborate plaster crown molding made of red mud plaster with a white plaster finish coat.	Fair condition; hole through crown to allow for steam heating pipe has caused cracking and damage at the northwest corner; large hole approximately 6" in size near the center of this section of crown molding along its lower edge.	5-25

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Figure 5-23. The front entry. Notice the door, fanlight, and sidelights. Photograph by Kathleen Manicke.

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Figure 5-24. The trim, pilasters, and sidelights. Photograph by Kathleen Manicke.

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Figure 5-25. Crown molding at the corner of the west and south walls. Photograph by Kathleen Manicke.

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Table 5-7. The North Wall of the Center Hall on Bostwick's First Floor.

Location: Center Hall~North Wall					
Item	Date	Size	Description	Condition	Figure #
Stairway	Circa 1904 Kyner Restoration		Colonial revival stairway with mahogany finished, square, paneled newel post and mahogany handrail. Balusters are rectangular 3/4" by 1 1/4" with three balusters per stair. Each baluster has a narrow rectangular incised panel on all four sides. Treads are 47" wide x 11" deep, and the rise is 7". The area beneath the stairs is enclosed. There are two engaged drop pendants at the landing level.	Excellent.	5-24
Door (1)	18th to early 19th-century	34"x 89"x 1" thick	Cross and Bible styled paneled door. The back of the door facing the dining room is flat paneled. The side of the door that faces the center hall has panels with feathered edges and ovolو molding. Plane marks are visible on flat surfaces indicating an 18th- or early 19th-century date.	Fair to poor condition due to large, poorly-filled repair where the center stile joins the rail; visible round-headed nails were used in this repair. Painted finish.	
Door Hardware (1 set)	Late 19th-early 20th-century		Two pin-type brass or brass-plated hinges; brass or brass-plated metal oval door knob on oval combination rose/escutcheon plate; mortised lockset.	Good condition; operable.	
Door Casing		5 1/4" W	Georgian style door casing with mitered corners.	Good to excellent condition; painted finish.	

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Table 5-7. The North Wall of the Center Hall on Bostwick's First Floor, continued.

Door Framing	18th to 19th century	14" W	Wide door framing accommodates the masonry wall. This framing is paneled, and the panel sizes reflect those in the door. There are three panels of unequal sizes on both sides and two panels of equal size across the top.	Good to excellent condition; painted finish.	
Radiator (1)	Early 20th century	38" W x 27" H	Highly ornamented cast iron early 20th century radiator. The end fin is stamped "American Radiator Company."	Good condition; operable; gold brass metallic paint finish.	5-26
Chair rail	Circa 1904 Kyner Restora-tion	1 1/4" W	Narrow wood chair rail with a 1/2" 45° bevel along the top edge.	Excellent condition; painted finish.	
Baseboard	Circa 1904 Kyner Restora-tion	9 1/2" H	Baseboard is composed of two pieces. Lower is flat lumber 7 1/4" high. The upper portion is a piece of milled reverse ogee molding.	Good to excellent condition; painted finish.	
Flat plaster above chair rail	Circa 1904 Kyner Restora-tion	94" H	Flat plaster in area above the chair rail has a lightly textured finish.	Good to excellent condition; painted finish.	

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Table 5-7. The North Wall of the Center Hall on Bostwick's First Floor, continued.

Flat plaster on stair enclosure	Circa 1904 Kyner Restoration		Just above the chair rail on the enclosure beneath the stairway is a plant-form design applied into the plaster while it was still wet. This design consists of ferns, grasses, and palm fronds. It measures 31"H and 35"W. This design sits atop a ½" band resembling a piece of ribbon that was also drawn on the plaster while it was wet.	Good to excellent condition; painted finish.	
Crown molding		13" high	Elaborate plaster crown molding made of red mud plaster with a white plaster finish coat.	Fair to good condition; some minor cracking across the entire length of the crown molding on this wall. Inappropriate repairs using drywall compound. Major crack is evident in the corner above the radiator due to the cutting of the molding to allow the radiator's steam pipe to pass through.	

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Table 5-7. The North Wall of the Center Hall on Bostwick's First Floor, continued.

Plaster walls below chair rail	Circa 1904 Kyner Restoration	<p>The flat plaster below the chair rail consists of various designs drawn into the plaster while it was still wet. Generally, there is a sand texture with smooth areas drawn into the textured ones. Immediately below the chair rail is a 3" wide band with vertical comb marks punctuated by "buttons" resembling squat beehives spaced 6½" on center. This is followed by a band 19" W containing a horizontal plant-form design containing six-petaled flowers, flower buds, single leaves, and tripartite leaves. Immediately above the baseboard is a 4½" band of plaster with vertical comb marks punctuated by the same plaster buttons. Some have suggested that this treatment is lincrusta. That it is hand-executed is shown by the following: The buttons on the top row are not symmetrical with those on the bottom row. Each plant-form design is slightly different in shape and size. There is no evidence of where pieces of a manufactured material like lincrusta were joined.</p>	Fair to good. Some inappropriate repairs (probably with drywall compound) detract from its appearance. In addition the lower wall exhibits some buckling of the old plaster behind the ornamental finish coat.	5-27 5-28
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Figure 5-26. The center hall radiator. Photograph by Kathleen Manicke.

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Figure 5-27. The stair enclosure. Faint outlines of the decorative plaster treatment are visible. Photograph by Kathleen Manicke.

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Figure 5-28. The decorative plaster treatment along the stairs. Photograph by Kathleen Manicke.

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Table 5-8. The East Wall of the Center Hall on Bostwick's First Floor.

Location: Center Hall~East Wall					
Item	Date	Size	Description	Condition	Figure #
Archway	Circa 1904 Kyner Restora- tion	58" W x 91"H	Passageway to rear entry area with elliptical arched opening flanked by paneled pilasters in the classical style.	Excellent condition; painted finish.	5-29

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Figure 5-29. The arch on the east wall that leads to the rear entry. Photograph by Kathleen Manicke.

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Table 5-9. The First Floor Center Hall Landing.

Location: Center Hall~Landing					
Item	Date	Size	Description	Condition	Figure #
Flat plaster below the shelf	Circa 1904 Kyner Restora-tion	Wall below shelf protrudes 4" into the room	The flat plaster below the chair rail consists of various designs drawn into the plaster while it was still wet. Generally, there is a sand texture with smooth areas drawn into the textured ones. Immediately below the chair rail is a 3" wide band with vertical comb marks punctuated by "buttons" resembling squat beehives spaced 6½" on center. This is followed by a band 19" W containing a horizontal plant-form design containing six-petaled flowers, flower buds, single leaves, and tripartite leaves. Immediately above the baseboard is a 4½" band of plaster with vertical comb marks punctuated by the same plaster buttons. Some have suggested that this treatment is lincrusta. That it is hand-executed is shown by the following: The buttons on the top row are not symmetrical with those on the bottom row. Each plant-form design is slightly different in shape and size. There is no evidence of where pieces of a manufactured material like lincrusta were joined.	Fair condition; some inappropriate repairs; large, poorly repaired crack at the southeast corner	5-31

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Table 5-9. The First Floor Center Hall Landing, continued.

Flat plaster above the shelf	Circa 1904 Kyner Restora-tion		Plaster is over masonry with a lightly textured finish.	Good to fair with some inappropriate repairs.	
Shelf (1)		9" D	Wooden shelf running the length of the landing area.	Good condition; painted finish.	
Window (1)	19th century	48" W x 93" H	Four-over-four, double sash, wooden windows with narrow horizontal muntins and wider vertical muntins. Lights are 17" high by 19" wide. A large portion of this window is blocked by the stairway.	Good; no broken lights visible.	5-30
Window stool (1)		9" D x 48' W x 1"thick	9" deep window stool forms an embrasure.	Good condition; painted finish.	5-31
Apron		5" x 48"	5" flat lumber with beaded edge with piece of cove-type molding where it meets the window stool.	Good condition; painted finish.	5-31
Window casing	18th to 19th century	6" W	Typical of the Georgian period. "Double" casing planed into two distinct fasciae. The inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Good condition; painted finish.	
Window frame		7" W	Flat lumber.	Good condition; painted finish.	
Flooring		1" x 4"	Tongue-in-groove lumber flooring.	Good condition; painted finish.	

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Figure 5-30. The landing between the first and second floors. Notice how the window is blocked by the ceiling. Photograph by Kathleen Manicke.

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Figure 5-31. The shelf and decorative plaster treatment on the lower wall of the landing. Photograph by Kathleen Manicke.

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Table 5-10. The Center Hall Rear Entry Area on Bostwick's First Floor.

Location: Center Hall~Rear Entry Area						
Item	Date	Size	Description	Condition	Figure #	
Rear entry door (1)	Circa 1904 Kyner Restora-tion	37" W x 81" H	Wooden; divided light upper portion has four-over-five lights; 2 panels below.	Excellent condition; painted finish.		
Door hardware for rear entry (1 set)	Circa 1904 Kyner Restora-tion		Hinges are pin-type, black-painted, cast metal; doorknob is brass-colored oval with round rose; lockset is mortised into door rail; lock is dead-bolt type operated by brass-colored thumb screw with rectangular escutcheon plate; door knocker sounding plate is centered at top of panels and is round, brass-colored, 3" in diameter.	Good condition; operable.		
Sidelights at rear entry	Circa 1904 Kyner Restora-tion	16"W x 84" H	Wooden; two-over-six divided lights above; 2 horizontal panels below.	Good to excellent condition; painted finish.		
Door casing on rear entry	Circa 1904 Kyner Restora-tion		Colonial revival style in the Georgian manner composed of three separate pieces of molding. Top and sides are mitered.	Excellent condition; painted finish.		

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Table 5-10. The Center Hall Rear Entry Area on Bostwick's First Floor, continued.

Passage door to area under stairs	Circa 1904 Kyner Restora-tion	32 "W x 78" H	Colonial revival style, paneled door. Its hinges are a 20th century manufactured type. Brass-colored cast metal surface-mount lockset with an oval, brass-colored knob with a round rose.	Excellent condition; painted finish.	
Passage door to library (1)	18th to 19th century	34" W x 90" H	Early cross and Bible paneled door with ogee molding and feathered panel edges on the rear entry hall side. The library side of the door has flat panels. Mortise and tenon joints are visible on both side rails. Plane marks are visible on flat surfaces indicating an 18th- or early 19th-century date.	Good condition; painted finish. Evidence of fill where hardware has been replaced.	
Door Frame	18th to 19th Century	14" W	Wide door framing accommodates the masonry wall. This framing is paneled, and the panel sizes reflect those in the door. There are three panels of unequal sizes on both sides and two panels of equal size across the top.	Excellent condition; painted finish.	
Door Casing on Library Passage Door	18th to 19th Century	6" W	Typical of the Georgian period. "Double" casing planed into two distinct fasciae. The inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Excellent condition; painted finish.	

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Table 5-10. The Center Hall Rear Entry Area on the First Floor.

Flat plaster			Short stretch equaling 24" on east wall on each side of entry door. Longer section of 43" along south wall. Decorative plaster treatment was carried into this area.	Fair to good condition. Painted finish. Some buckling of old plaster beneath the decorative treatment.	
Electric light fixtures (2)	2000-2005		Early 21st-century brass-colored, colonial revival style electric sconces with glass chimneys.	Good; operable.	

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Table 5-11. The South Wall of the Center Hall on the First Floor.

Location: Center Hall~South Wall					
Item	Date	Size	Description	Condition	Figure #
Doors (2)	18th to 19th century	34" W x 89" H x 1" thick	Cross and Bible styled paneled door. The back of the door facing the south is flat paneled. The side of the door that faces the center hall has panels with feathered edges and ovolو molding. The doors are 112" inches apart. Plane marks are visible on flat surfaces indicating an 18th- or early 19th-century date.	Fair to good condition; there is evidence of fill where the hardware has been replaced; painted finish.	
Door hardware (2 sets)	19th to 20th century	6" W x 3 1/2" H	Late 19th or early 20th-century black painted steel box lock; glass door knobs; lockset mounted on room side of door; round, brass-colored doorknob rose; oval, brass-colored, escutcheon plate; catches on the casings not original to door (poorly filled repairs indicate presence of larger catch at some previous time). Northeast door has five part, pin-type hinge. Southeast door has a two part, early manufactured hinge.	Good condition although they have been repainted; operable.	
Door casing	18th to 19th century	6" wide	Typical of the Georgian period. "Double" casing planed into two distinct fasciae. The inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Excellent condition; painted finish.	

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Table 5-11. The South Wall of the Center Hall on the First Floor, continued.

Door frame	18th to 19th century	14" W	Wide door framing accommodates the masonry wall. This framing is paneled, and the panel sizes reflect those in the door. There are three panels of unequal sizes on both sides and two panels of equal size across the top.	Excellent condition; painted finish.	5-32
Chair rail	Circa 1904 Kyner Restora-tion	1 1/4" W	Narrow wood chair rail with a ½" 45° bevel along the top edge.	Excellent condition; painted finish.	
Flat plaster above chair rail	Circa 1904 Kyner Restora-tion	94" H	Flat plaster in area above the chair rail has a lightly textured finish.	Good to excellent condition; painted finish.	
Crown molding		13" H	Elaborate plaster crown molding made of red mud plaster with a white plaster finish coat.	Fair condition; there is some minor cracking along its entire length. Major cracking is evident at the southwest corner due to the settling of the structure.	
Baseboard	Circa 1904 Kyner Restora-tion	9 1/2" H	Baseboard is composed of two pieces. Lower is flat lumber 7 ¼" high. The upper portion is a piece of milled reverse ogee molding.	Excellent condition; painted finish.	5-32

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Table 5-11. The South Wall of the Center Hall on the First Floor of the Main Block, continued.

Plaster Walls Below Chair Rail	Circa 1904 Kyner Restoration	<p>The flat plaster below the chair rail consists of various designs drawn into the plaster while it was still wet. Generally, there is a sand texture with smooth areas drawn into the textured ones. Immediately below the chair rail is a 3" wide band with vertical comb marks punctuated by "buttons" resembling squat beehives spaced 6½" on center. This is followed by a band 19"W containing a horizontal plant-form design containing six-petaled flowers, flower buds, single leaves, and tripartite leaves. Immediately above the baseboard in a 4½" band of plaster with vertical comb marks punctuated by the same plaster buttons. Some have suggested that this treatment is lincrusta. That this is hand-executed is shown by the following: The buttons on the top row are not symmetrical with those on the bottom row. Each plant-form design is slightly different in shape and size. There is no evidence of where pieces of a manufactured material such as lincrusta were joined.</p>	Fair to good. Some inappropriate repairs (probably with drywall compound) detract from its appearance. In addition the lower wall exhibits some buckling of the old plaster behind the ornamental finish coat.	5-32
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Figure 5-32. Damage to decorative paint treatment on the south wall includes buckling of the old plaster behind the decorative treatment. Photograph by Kathleen Manicke.

Building at Risk

Table 5-12. The Ceiling in the Center Hall on the First Floor of the Main Block.

Location: Center Hall-Ceiling					
Item	Date	Size	Description	Condition	Figure #
Ceiling Material			Drywall ceiling with smooth finish	Good condition; painted finish. One large repair near stairway/rear entry dating from Silman structural study	
Ceiling Medallion	21st century		Styrene ceiling medallion with a shell, ribbon, and rosette motif	Good; painted finish.	
Electric Light Fixture (1)	21st century		Early 21st century, 16-arm, brass-colored colonial revival style, electric chandelier with candle-style lights.	Good, operable.	

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The Dining Room

Bostwick's dining room is an intimate space with windows that look out over the estate's terraced front lawn. The room's features include black walnut paneling, a corner cupboard, a Victorian fireplace, a radiator with a bun warmer, and a colonial revival doorway looking into the library. Particularly noticeable is the room's seventeen inch crown molding. Its two windows are twenty-over-twenty, double-hung, wooden sash topped by red, green, and gold stained-glass, single-light transoms.

The tables on the following pages present a detailed description of the walls and ceiling in the dining room as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in the dining room follow each table.

Building at Risk

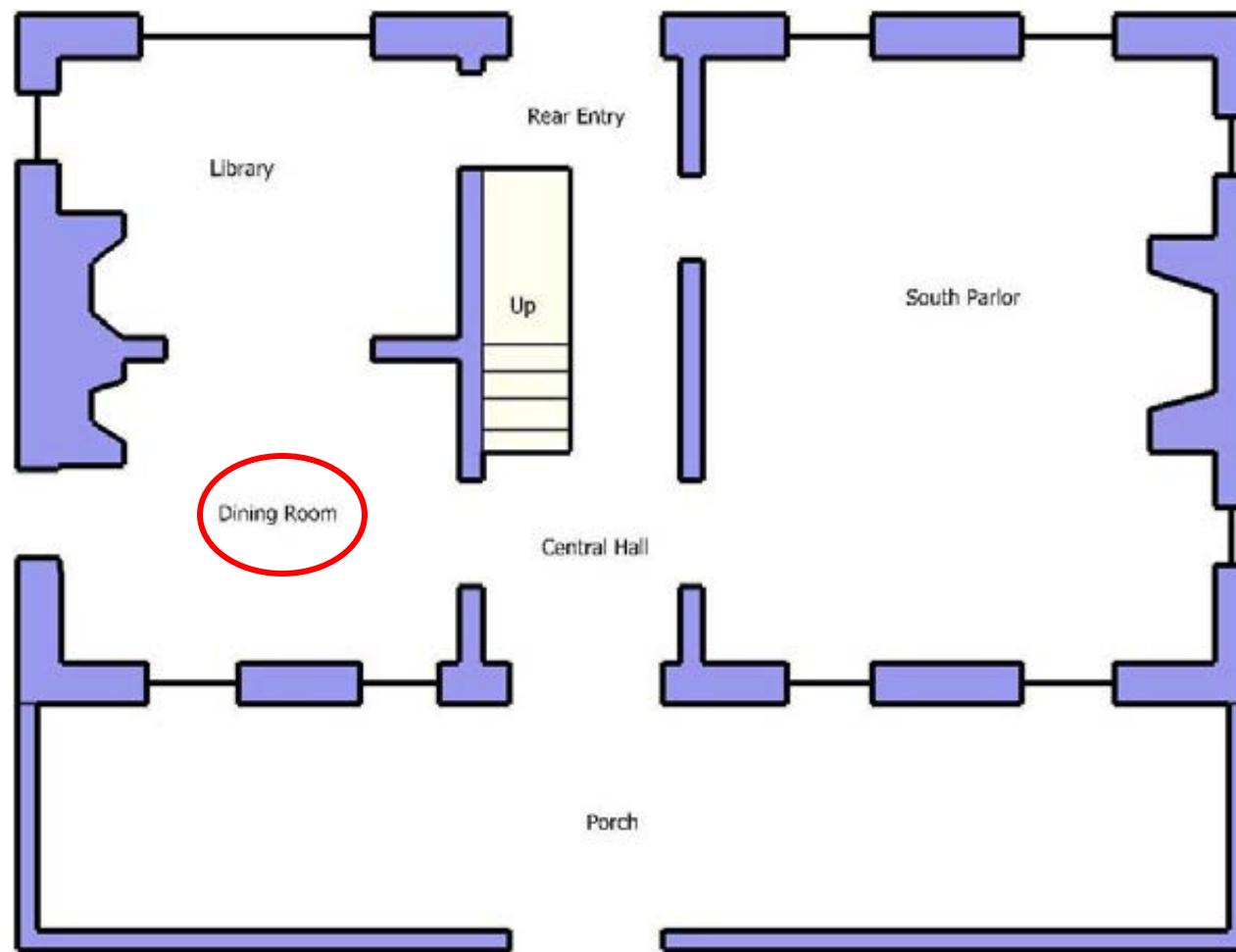


Figure 5-33. Plan showing Bostwick's dining room. Drawing by Kathleen Manicke.

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Table 5-13. The West Wall of the Dining Room.

Location: Dining Room~West Wall					
Item	Date	Size	Description	Condition	Figure #
Windows	Circa 1904 Kyner Restora-tion	44" W x 103" H	20-over-20 light, wooden double-hung sash with stained glass transom above; date to Kyner restoration.	Fair to good.	5-34
Window casing	18th to 19th century	6" W	Typical of the Georgian period. "Double" casing planed into two distinct fasciae. The inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Good condition.	5-34
Window frame	18th to 19th century	14½ " W	Paneled window frame with three panels on the vertical sides and a single panel with trapezoidal sides across the top. Forms an embrasure deep enough for seating.	Good condition; some filled areas that once held interior shutters.	5-34
Window hardware	Circa 1904 Kyner Restora-tion		Latches and pulls typical for time period; pulley system uses ½-inch steel strap instead of rope or chain.	All latches and pulls present and working; steel straps for pulleys are broken.	
Paneling	19th century	52" H	Black walnut; painted above the chair rail level and at the baseboard level; consists of raised black walnut panels with machine-milled molding; paneling largely hidden by radiator on this wall.	Good condition; some minor cracking along grain in panels.	

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Table 5-13. The West Wall of the Dining Room, continued.

Corner Cabinet (1)	Circa 1904 Kyner Restora- tion		Large, painted wood corner cabinet with two doors above and one drawer and two doors below. Cabinet is topped by a cornice-type molding with large articulated dentils below. Upper doors have two-over-five lights separated by narrow muntins. Lights are 12" W by 9" H. Contains four sets of unusual late-Victorian style surface hinges. The doors are opened with a small cut-glass knob and mortised lockset with an oval brass escutcheon plate. The single drawer is flat with reverse ogee molding around the edges and two small glass knobs with brass roses. The drawer is 24" wide and flanked by two false drawer fronts 16" wide, each with its own glass knob. The lower doors are divided into two vertical flat panels with a Moorish arch at the top of each panel. The lower drawers have the same hinges as the upper doors. The lower cabinet is opened with a single cut-glass knob and lockset that matches that on the upper door.	Good condition with painted finish.	5-38
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Chapter 5: Bostwick's First Floor

Table 5-13. The West Wall of the Dining Room, continued.

Radiator	Late 19th to early 20th century	36"W x 43"H	Ornate cast iron radiator with a 12" H by 16" W double-door, bun-warming chamber.	Excellent condition; brass/gold metallic painted finish.	5-35
Crown molding	19th century	17"	Laid up in place plaster colonial revival style plaster molding with a red-colored scratch coat over sawn wooden lath. Topcoat is white plaster.	Extremely poor; large hole over 18" in length at the southwest corner leads into a large crack that runs the rest of the length of this wall. The crack ranges from $\frac{1}{2}$ " to well over 1".	5-36 5-37
Flat Plaster Walls			Flat plaster with very light texturing applied over masonry wall.	Good condition with some minor repairs evident.	

Building at Risk



Figure 5-34. Dining room window. Photograph by Kathleen Manicke.

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Figure 5-35. The dining room radiator. Photograph by Kathleen Manicke.

Building at Risk



Figure 5-36. Damaged crown molding on the west wall of the dining room. Photograph by Kathleen Manicke.

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Figure 5-37. Extent of damage to the crown molding on the west wall of the dining room. Photograph by Kathleen Manicke.

Building at Risk



Figure 5-38. The corner cupboard in the dining room. Photograph by Kathleen Manicke.

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Table 5-14. The North Wall of the Dining Room.

Location: Dining Room~North Wall					
Item	Date	Size	Description	Condition	Figure #
Crown molding	19 th century	17"	Laid up in place, colonial revival style plaster molding with a red-colored scratch coat over sawn wooden lath. Topcoat is white plaster.	Poor condition; hole approximately 6" to 8" over fireplace; significantly cracking from ¼" to 1"; plaster keys have broken and molding is loose and hangs approximately 2" below the ceiling level at the fireplace's outside corner; inappropriate repairs have obscured the crown's profiles in some areas.	5-39
Door casing	Early to mid-19th century	5"	Similar to but slightly different with a more ornate profile than other casings found on the first floor, indicating a later time period; Casing is found on the top and wide side of the door only.	Good to excellent condition; painted finish.	
Door (1)	19th to 20th century	34" W x 89" H x 1" thick	Four-paneled door; the side of the door facing the dining room is flat-paneled. The side of the door that faces the kitchen has panels with feathered edges and molding.	Fair to good condition; painted finish; weather strip nailed to bottom of door.	
Door hardware (1 set)	Late 19th-early 20th century		Two pin-hinges; painted steel escutcheon plate with black ceramic knob.	Good condition; operable.	

Building at Risk

Table 5-14. The North Wall of the Dining Room, continued.

Door casing		5 1/4" W	Georgian style door casing with mitered corners	Good to excellent condition; painted finish	
Door framing	18th to 20th century	14" W	Wide door framing accommodates the masonry wall. This framing on the west side of the door is paneled; paneling on the east side of the door is different and flush with the plastered wall.	Good to excellent condition; painted finish	
Paneling	19th century	52"H	Black walnut; painted above the chair rail level and at the baseboard level; consists of raised black walnut panels with machine-milled molding; paneling largely hidden by radiator on this wall.	Good condition; some minor cracking along grain in panels.	5-40
Fireplace and mantel (1)	Mid to late 19th century	45"H x 60"W x 13"D	Protrudes 39" into the room. Mantel is rococo revival in white marble. It is obviously not original to this room since it sits almost 8" below the top of the paneling that abutted the original mantel. It was reportedly installed after the original caught fire. Firebox was restored in the 20th century using red brick.	Good condition with minor cracking and moderate staining of the marble.	5-40
Hearth tile	20th century	18" x 60"	Hearth is composed of 4" x 8" dark brown ceramic tile.	Excellent condition.	5-40
Flat plaster			Flat plaster with very light texturing applied over masonry wall.	Good condition with some small repairs evident.	5-39

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Figure 5-39. Damage to the crown molding above the fireplace on the north wall of the dining room. Photograph by Kathleen Manicke.

Building at Risk



Figure 5-40. The dining room fireplace. Photograph by Kathleen Manicke.

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Table 5-15. The East Wall of the Dining Room.

Location: Dining Room~East Wall					
Item	Date	Size	Description	Condition	Figure #
Crown Molding	19th century	17" H	Laid up in place, colonial revival style plaster molding with a red-colored scratch coat over sawn wooden lath. Topcoat is white plaster.	Poor, although still attached to lath. Moderate to severe horizontal cracking; significant paint failure.	
Paneling	19th century	52" H	Black walnut; painted above the chair rail level and at the baseboard level; consists of raised black walnut panels with machine-milled molding.	Good condition; some minor cracking along grain in two panels.	
Flat Plaster			Flat plaster with very light texturing applied over masonry wall.	Good condition with some small repairs evident.	

Building at Risk

Table 5-15. The East Wall of the Dining Room, continued.

Door to library (1)	Circa 1904 Kyner Restora- tion	75 "W x 89" H	Colonial revival style double width passage-way with elaborate detailing. Cornice is laid up from elaborate crown molding. Immediately beneath the cornice is a piece of 1" reverse ogee molding with articulated 1" dentils below. Plain architrave with sides that bow outward. Followed by another piece of crown molding that is 2" deep. This is followed by the remainder of the architrave, which also acts as the top of the paneled door frame. Panels on this plane of the door frame alternate in size with three large panels separated by two smaller ones. The architrave and cornice are supported by a pair of matching fluted pilasters whose capitals are made of crown molding with an ornamented architrave. The top of the bases do not quite match the adjacent panel rail in height indicating two different periods of construction. The side door frames contain a single flat panel with a round, flat area above for holding portiere rods.	Excellent condition; painted finish.	
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Figure 5-41. View through the west wall double door into the dining room. Both sides of the door are identical. Photograph by Kathleen Manicke.

Building at Risk

Table 5-16. The South Wall of the Dining Room.

Location: Dining Room~South Wall					
Item	Date	Size	Description	Condition	Figure #
Crown molding	19 th century	17" H	Laid up in place, colonial revival style, plaster molding with a red-colored scratch coat over sawn wooden lath. Topcoat is white plaster.	Fair to poor condition with slight spalling to the top coat; moderate horizontal cracking; significant paint failure.	
Flat plaster			Flat plaster with very light texturing applied over masonry wall.	Good condition with some small repairs evident.	5-42
Paneling	19th century	52" H	Black walnut; painted above the chair rail level and at the baseboard level; consists of raised black walnut panels with machine-milled molding.	Excellent condition.	5-42
Door (1)	18th to 19th century	34" W x 89" H x 1" thick	Cross and Bible styled paneled door. The back of the door facing the dining room is flat paneled. The side of the door that faces the center hall has panels with feathered edges and ovolو molding. Visible plane marks on flat surfaces.	Fair to poor condition due to large, poorly-filled repair where the center stile joins the rail; visible round-headed nails were used in this repair. Painted finish.	
Door hardware	Late 19 th to early 20th Century		Two pin-type brass or brass-plated hinges; brass or brass-plated metal oval door knob on oval combination rose/escutcheon plate; mortised lockset.	Good condition; operable.	

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Table 5-16. The South Wall of the Dining Room, continued.

Door frame	18th to 19th century	14" W	Wide door framing accommodates the masonry wall. This framing is paneled, and the panel sizes reflect those in the door. There are three panels of unequal sizes on both sides and two panels of equal size across the top.	Good to excellent condition; painted finish	
Door casing	18th to 19th century	5 1/4" W	Georgian style door casing with mitered corners	Good to excellent condition; painted finish	

Building at Risk



Figure 5-42. The paneling on the south wall of the dining room. Photograph by Kathleen Manicke.

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Table 5-17. The Dining Room Ceiling.

Location: Dining Room~Ceiling					
Item	Date	Size	Description	Condition	Figure #
Ceiling	20th century		Drywall ceiling with smooth finish	Good; gap of up to $\frac{3}{4}$ " where ceiling meets crown molding; no cracking evident	
Ceiling medallion	Late 20th century	12" diameter	Styrene ceiling medallion with ribbon motif	Excellent; painted finish	
Chandelier	Late 20th century		Ten-arm, brass-plate-over-steel colonial revival style chandelier	Excellent condition; operable	

Building at Risk

The Library

The first floor library at Bostwick looks out toward the back lawn and agricultural buildings. The library contains many historic elements from the Kyner restoration in 1904, including an Adamsesque fireplace mantel, a large Palladian window, and an unusual decorative plaster treatment. Popular at the turn of the twentieth century, the Adamsesque fireplace mantel has a cornice, architrave, capitals, and columns that are derived from Greek temple design. The Palladian window, according to a Kyner descendant, was added to bring more daylight into the room.⁵⁷ The decorative plaster treatment consists of plant-form elements at the cornice, mid-section, and wainscoting levels. The decorative treatments are most unusual, and only two in the room are somewhat similar. The room has a drywall ceiling and a late twentieth-century flooring system that matches that on the rest of the first floor.

The tables on the following pages present a detailed description of the walls and ceiling in the library as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in the room follow each table.

⁵⁷ HABS, 2.

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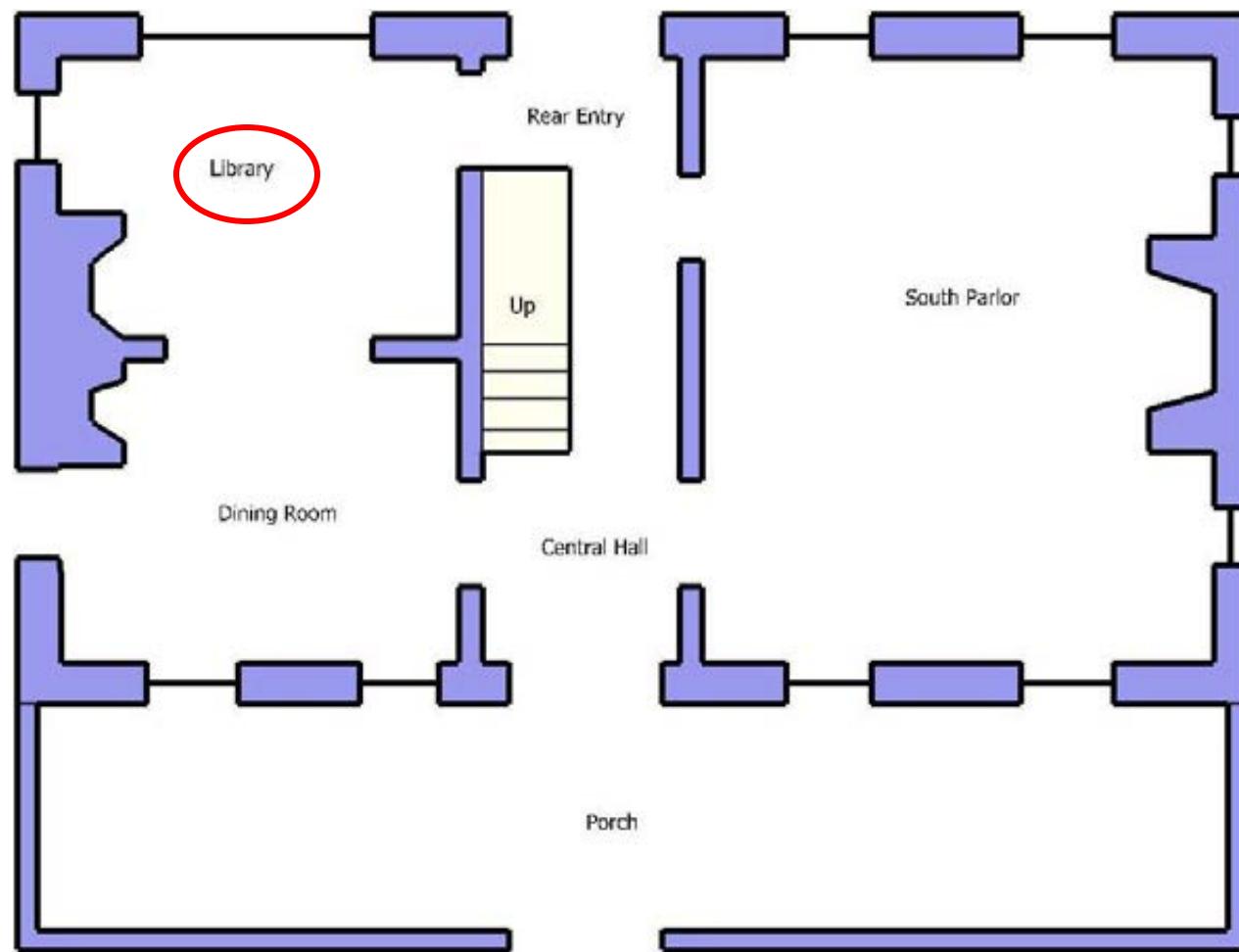


Figure 5-43. Plan showing Bostwick's library. Drawing by Kathleen Manicke.

Building at Risk

Table 5-18. The West Wall of the Library.

Location: Library~West Wall					
Item	Date	Size	Description	Condition	Figure #
Door to dining room (1)	Circa 1904 Kyner Restoration	75" W x 89" H	Colonial revival style double width passageway with elaborate detailing; cornice laid up from elaborate crown molding; immediately beneath the cornice is a piece of 1" reverse ogee molding with articulated 1" dentils below; plain architrave with sides that bow outward followed by another piece of crown molding 2" deep; this is followed by the remainder of the architrave, which also acts as the top of the paneled door frame; panels on this plane of the door frame alternate in size with three large panels separated by two smaller ones; the architrave and cornice are supported by a pair of matching fluted pilasters whose capitals are made of crown molding with an ornamented architrave; the top of the bases do not quite match the adjacent panel rail in height indicating two different periods of construction; the side door frames contain a single flat panel with a round, flat area above for holding portiere rods.	Excellent condition; painted finish.	5-44

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Table 5-18. The West Wall of the Library, continued.

Crown molding	19 th century	17"	Laid up in place, colonial revival style plaster molding with a red-colored scratch coat over sawn wooden lath; topcoat is white plaster.	Fair to poor condition with slight spalling of the top coat; moderate horizontal cracking; significant paint failure; inappropriate repairs (likely with drywall compound) have largely obscured its profile.	5-45
Flat plaster above chair rail height	Circa 1904 Kyner Restoration		Above the chair rail, this wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; the decorative elements on this wall consist of the following: immediately beneath the crown molding are branches of cherries/grapes running horizontally; the height of this element varies from 12" to 18"; to the south of the door, there is a mid-section consisting of a plant-form element featuring palm fronds, peony leaves, and elephant ears; to the north of the door, there is another, larger, plant-form element consisting of palm fronds, cattails, cherries, and elephant ears.	Good to excellent condition with some repairs.	

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Table 5-18. The West Wall of the Library, continued.

Flat plaster below chair rail height			<p>Below chair rail height, wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; the decorative elements on this section of the wall consist of the following: (1) at 45" above the floor, there is $\frac{1}{2}$" wide, smooth band over a 6" band of textured plaster, (2) below this is a second $\frac{1}{2}$" wide smooth band followed by a $2\frac{1}{2}$" wide area with $\frac{1}{4}$" vertical comb marks; this area also contains a number of $1\frac{1}{4}$" 'buttons' made of sawdust and glue that resemble squat beehives; this is bordered by another $\frac{1}{2}$" smooth band at the lower edge, (3) the bulk of the area below chair rail height is a 22' high 'wainscot' in a basket weave design consisting of alternating horizontally and vertically combed areas measuring 3" square, (4) Just above the baseboard is another smooth $\frac{1}{2}$" band followed by a combed $2\frac{1}{2}$" band with 'beehive buttons' followed by a final smooth $\frac{1}{2}$" band.</p>	Good to excellent condition with some repairs.	
Baseboard	1904 Kyner Restoration	9 1/2" H	Baseboard is composed of two pieces; lower is flat lumber $7\frac{1}{4}$ " high; upper portion is a piece of milled reverse ogee molding.	Excellent condition; painted finish.	

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Figure 5-44. The double door on the library's west wall. Photograph by Kathleen Manicke.

Building at Risk



Figure 5-45. Crown molding above the double door on the west wall. Photograph by Kathleen Manicke.

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Table 5-19. The North Wall of the Library.

Location: Library~North Wall					
Item	Date	Size	Description	Condition	Figure #
Crown molding	19th century	17"	Laid up in place, colonial revival style, plaster molding with a red-colored scratch coat over sawn wooden lath; topcoat is white plaster.	Fair to poor condition with slight spalling of the top coat; moderate horizontal cracking; significant paint failure; inappropriate repairs (likely with drywall compound) have largely obscured its profile.	
Flat plaster above chair rail height	Circa 1904 Kyner Restoration		Above the chair rail, this wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; the decorative elements on this wall consist of the following: Immediately beneath the crown molding there are branches of cherries/grapes running horizontally; height of this element varies from 12" to 18"; (2) below the cherries and flanking the Palladian window are two large plant form designs consisting of cattails, palm fronds, cherries, and elephant ears; these measure 3' x 4' on the north end and 3' x 3' on the south.	The decorative plaster elements at the south end of this wall are difficult to see and may be partially obscured by repair attempts to the plaster; the steam heat pipe to the upstairs stands in front of the decorative elements on the north end of the wall, further obscuring the plaster treatment.	

Building at Risk

Table 5-19. The North Wall of the Library, continued.

Flat plaster below chair rail height	1904 Kyner Restoration		Above the chair rail, this wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; the decorative elements on this wall consist of the following: immediately beneath the crown molding there are branches of cherries/grapes running horizontally; height of this element varies from 12" to 18"; centered over the mantel is a large plant-form design, measuring 30" high by 52" wide and consisting of palm fronds and peony leaves; another large plant-form design, measuring 32"H by 32"W, is centered on the fireplace end wall and consists of peony leaves and palm fronds; a large element, measuring 32"H by 39"W, can be seen on the wall between the window and the northeast corner consisting of peony leaves, palm fronds, and elephant ears.	No cracking or obvious repairs	
Window (1)	19 th century	32" W x 87" H	Four-over-four, wooden, double sash window with a 3'4" wide horizontal muntin and a 1½" wide vertical muntin; lights are 19"H by 13"W.	Good to fair with some paint failure and minor rot on the bottom rail.	5-47
Window casing	Late 18th to early 19th century	5 1/2" W	Federal style with a profile different from other rooms on this floor but matches the casing on the door between the dining room and kitchen added during the Stoddert era.	Good to excellent; painted finish.	5-47

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Table 5-19. The North Wall of the Library, continued.

Window frame	19 th century	13" deep	Paneled window frame with two panels on each vertical surface and a single panel across the top	Good to excellent; painted finish	5-47
Window pull	Circa 1904 Kyner Restora-tion	3 1/2"W by 1 3/4"H	Oval with beaded edges; brass-colored metal	Good to excellent; painted finish	
Pin assembly			Used to hold window in 'up' position	Operable	
Latch			Painted metal	Operable	
Fireplace, mantel, and hearth	Circa 1904 Kyner Restora-tion	52" H x 60" W x 11" Deep	Fireplace protrudes 37" into the room and measures 87" W; firebox is lined with modern fire brick; early 20th century Adamsesque mantel with urn, ribbon/flower, and rosette motifs in the architrave; columns supporting the mantel shelf are urn-shaped with Ionic capitals; hearth is flush with the floor and paved with 4" x 8" dark brown ceramic tiles.	Excellent with a painted finish; non-operable due to condition of chimney.	5-46

Building at Risk



Figure 5-46. The library's fireplace and mantel. Photograph by Kathleen Manicke.

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Figure 5-47. The window on the north wall of the library. Photograph by Kathleen Manicke.

Building at Risk

Table 5-20. The East Wall in the Library.

Location: Library~East Wall					
Item	Date	Size	Description	Condition	Figure #
Flat plaster above chair rail height	Circa 1904 Kyner Restoration		Above the chair rail, this wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; decorative elements on this wall consist of the following: immediately beneath the crown molding there are branches of cherries/grapes running horizontally; height of this element varies from 12" to 18"; centered over the mantel is a large plant-form design, measuring 30" high by 52" wide and consisting of palm fronds and peony leaves; another large plant-form design, measuring 32" H by 32" W, is centered on the fireplace end wall and consists of peony leaves and palm fronds; another large element, measuring 32" H by 39" W, can be seen on the wall between the window and the northeast corner consisting of peony leaves, palm fronds, and elephant ears.	The condition of the plaster on this wall varies; some of the large design over the mantel may be missing because of repairs to the plaster; plaster on the fireplace end wall in poor condition because of the buckling and cracking of the plaster; this area also exhibits some repaired areas that hide the design; area above the design near the corner has been repaired using mesh drywall tape.	

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Table 5-20. The East Wall in the Library, continued.

Flat plaster below chair rail height	Circa 1904 Kyner Restora-tion		<p>Below chair rail height, this wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; decorative elements on this section of the wall consist of the following: at 45" above the floor, there is $\frac{1}{2}$" wide, smooth band over a 6" band of textured plaster; below this is a second $\frac{1}{2}$" wide smooth band followed by a $2\frac{1}{2}$" wide area with $\frac{1}{4}$" vertical comb marks; this area also contains a number of $1\frac{1}{4}$" 'buttons' made of sawdust and glue that resemble squat beehives; this is bordered by another $\frac{1}{2}$" smooth band at the lower edge; the bulk of the area below chair rail height is a 22" high 'wainscot' in a basket weave design consisting of alternating horizontally and vertically combed areas measuring 3" square; just above the baseboard is another smooth $\frac{1}{2}$" band followed by a combed $2\frac{1}{2}$" band with 'beehive buttons' followed by a final smooth $\frac{1}{2}$" band.</p>	Fair to good condition; damage to plaster in this area consists of buckling and cracking of the plaster; inappropriate repairs.	
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Building at Risk

Table 5-20. The East Wall in the Library, continued.

Crown Molding	19 th century	17"	Laid up in place, colonial revival style, plaster molding with a red-colored scratch coat over sawn wooden lath topcoat is white plaster.	Fair to poor condition with slight spalling of the top coat; moderate horizontal cracking; significant paint failure; inappropriate repairs (likely with drywall compound) have largely obscured its profile.	
Radiators (2)	20 th century	30" W x 14" H	Highly decorated cast iron radiators with a brass/gold metallic painted finish; obscured by a window seat.	Good condition; operable.	
Window seat/bench	20 th century	1'9" D x 9'8" L	Made of random width smooth boards; rear of the bench is attached to the wall under the Palladian window and over the radiators; 4 turned legs support the front.	Good condition; moderate paint failure; missing front edge.	
Palladian window	Circa 1904 Kyner Restora-tion		Palladian window replaced two earlier windows; Palladian window composed of a large twenty-over-fifteen light, double-hung window flanked by smaller nine-over-nine light, double-hung windows; 2 sets of pilasters—one set flanks the center window and the other flanks the entire grouping; large colonial revival cornice molding with dentils below separates the three windows from the single half-round fanlight above the center window.	Good condition with slight paint failure.	5-48

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Table 5-20. The East Wall in the Library, continued.

Window Hardware			Pulls are brass-colored metal, oval with beaded edge; latches are brass colored metal; rope and pulley system for raising the three double-hung windows	Operable	
Baseboard		9 1/2" H	Composed of two pieces: flat lumber board 8" high topped with a 1½" piece of ogee molding.	Good to excellent condition; painted finish	

Building at Risk



Figure 5-48. The Palladian window on the east wall of the library. Photograph by Kathleen Manicke.

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Table 5-21. The South Wall in the Library.

Location: Library~South Wall					
Item	Date	Size	Description	Condition	Figure #
Crown molding	19th century	17"	Laid up in place, colonial revival style, plaster molding with a red-colored scratch coat over sawn wooden lath; topcoat is white plaster.	Fair to poor condition with slight spalling of the top coat; moderate horizontal cracking; significant paint failure; inappropriate repairs (likely with drywall compound) have largely obscured its profile.	
Flat plaster above chair rail height	Circa 1904 Kyner Restoration		Above the chair rail, wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; decorative elements on this wall consist of the following: immediately beneath the crown molding there are branches of cherries/grapes running horizontally; height of this element varies from 12" to 18"; centered on the wall in the mid-section is a single large (4½' by 7½') plant-form design consisting of cattails, palm leaves, cherries, and elephant ears; this is the largest design found in the two rooms at Bostwick that have this type of decorative plaster treatment.	Excellent condition.	5-49

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Table 5-21. The South Wall in the Library, continued.

Flat plaster below chair rail height	Circa 1904 Kyner Restora-tion		<p>Below chair rail height, this wall has a decorative plaster treatment drawn by hand into a wet, lightly textured plaster; decorative elements on this section of the wall consist of the following: 4-5" above the floor, there is ½" wide, smooth band over a 6" band of textured plaster; below this is a second ½" wide smooth band followed by a 2½" wide area with ¼" vertical comb marks; this area also contains a number of 1 ¼" 'buttons' made of sawdust and glue that resemble squat beehives; bordered by another ½" smooth band at the lower edge; bulk of the area below chair rail height is a 22" high 'wainscot' in a basket weave design consisting of alternating horizontally and vertically combed areas measuring 3" square; just above the baseboard is another smooth ½" band followed by a combed 2½" band with 'beehive buttons' followed by a final smooth ½" band.</p>	Fair condition; horizontal bands and basket weave designs show signs of inappropriate repairs where the design has been lost.	5-49
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Table 5-21. The South Wall in the Library, continued.

Door to rear entry area (1)	Late 17th to early 18th centuries	34½" W x 90"H x 1"D	Cross and Bible style paneled solid wood door; flat panels on are on the library side of the door; reverse side of the door has raised panels with feathered edges; visible plane marks are evident on the flat areas of the door.	Good to excellent condition; painted finish; some evidence of holes filled when the hardware was replaced.	
Doorknob and plate (1 set)	Circa 1904 Kyner Restoration		Oval brass-colored door knob; brass-colored oval escutcheon plate with key hole.	Operable.	
Hinges (2)	Circa 1904 Kyner Restoration		Brass-colored, pin-type hinges.	Operable.	
Door casing	18th to 19th century	6" wide	Typical of the Georgian period; "double" casing planed into two distinct fascias; inner plane is lower in level than the outer plane and separated from the outer plane by a narrow ogee molding.	Excellent condition; painted finish.	

Building at Risk

Table 5-21. The South Wall in the Library, continued.

Door Frame	18 th -19 th century	14" W	Wide door framing accommodates the masonry wall. This framing is paneled, and the panel sizes reflect those in the door. There are three panels of unequal sizes on both sides and two panels of equal size across the top.	Excellent condition; painted finish.	
Baseboard		9½" H	Composed of two pieces: flat lumber 8" high topped with a 1½" piece of ogee molding.	Good to excellent condition; painted finish.	5-49

Chapter 5: Bostwick's First Floor



Figure 5-49. The south wall in Bostwick's library. Photograph by Kathleen Manicke.

Building at Risk

Summary

The first floor of Bostwick's main block provides a living record of the styles in interior decoration that coincide with the life span of the house. Particular care should be taken to preserve these historic elements. The incised plaster paneling in the south parlor is known to exist in only two other houses in Maryland; therefore all attempts should be made to conserve it. Likewise, the decorative plaster treatment from the Kyner years should also be saved. The colonial era doors and trim, the Victorian period paneling, and the turn of the twentieth century corner cupboard should all be kept, restored, and then returned to their current locations. Contractors working in the first floor area should be educated regarding the wealth of historic fabric on the first floor in order to prevent the inadvertent destruction of irreplaceable elements.

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Six:

Bostwick's Second Floor



Building at Risk

Introduction

The second floor of Bostwick consists of a hall and the family's private spaces—four large bedrooms. The conditions found in the hall and the two bedrooms on its northern side demonstrate the urgent need to begin the mansion's restoration. These conditions include sagging floors, significant gaps between floors and walls, failing paint, and deteriorating plaster. Yet despite these urgent needs, there is much historic fabric of note on the second floor.

The Second Floor Center Hall

The center hall on the second floor is a wide space brightly lit by a large window on the west wall. Historic features in the hall include the window, doors/trim, an eighteenth- to nineteenth-century staircase to the attic, and a floor made of wide, random-width flat boards. Additionally there is a set of mid-twentieth-century painted plywood cabinets. Of particular concern in this area is the severe paint failure on all the flat plaster and the separation of the stairs from the surrounding walls.

The tables on the following pages present a detailed description of the walls and ceiling in the second floor center hall as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in the hall follow each table.

Chapter Six: Bostwick's Second Floor

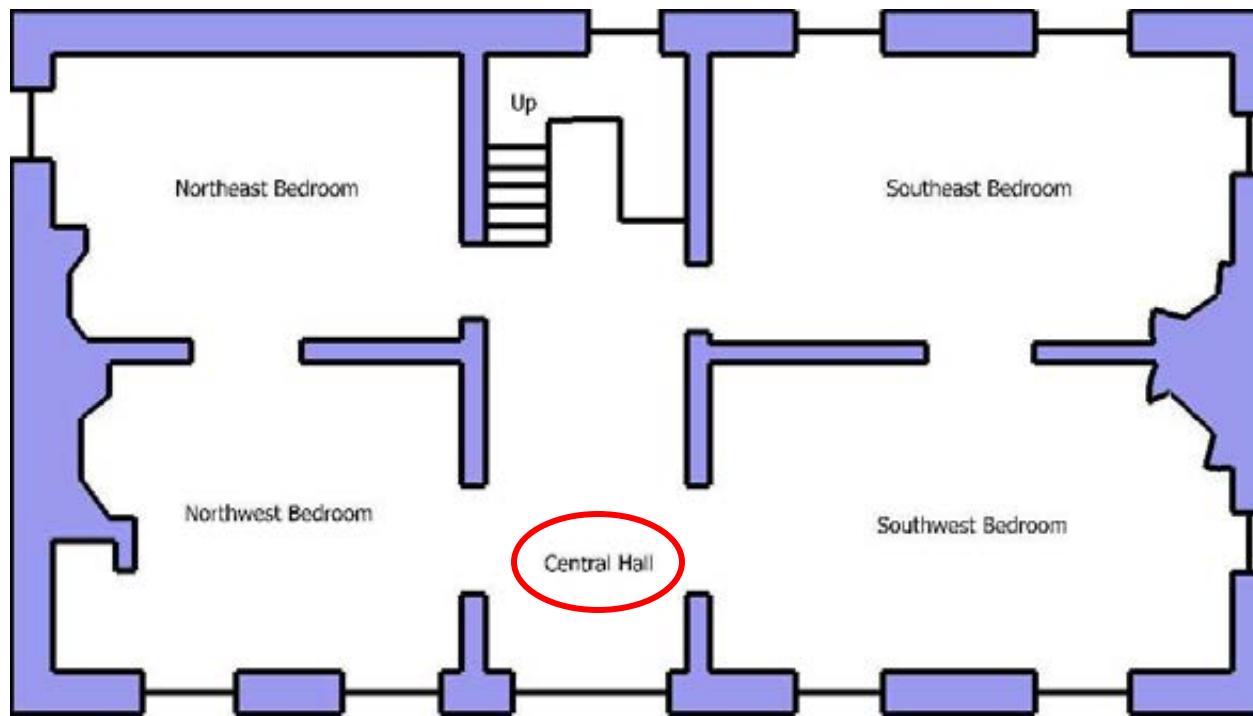


Figure 6-1. Plan of Bostwick's second floor showing the center hall. Drawing by Kathleen Manicke.

Building at Risk



Figure 6-2. The second floor center hall. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

Table 6-1. The West Wall of the Second Floor Center Hall.

Location: Center Hall~West Wall					
Item	Date	Size	Description	Condition	Figure #
Window	19th century		Large six-over-six, wooden, double-sash window; narrow muntins; lights are 17" by 17"; some older glass containing waves and flaws.	Fair condition; muntins were repaired by sistering a piece of molding over the muntins; 2 broken lights; moderate paint failure; some rot on the rails and horizontal muntin surfaces; neither sash can be raised/lowered at this time.	6-2 6-3
Window hardware			Painted metal thumb lift, catch, and pin assembly for raising window.	Fair condition.	
Window casing		5½" W	Early style casing with a beaded inner edge followed by a flat plane, an ogee, then a narrow flat plane; ogee and narrow plane is the same along the south corner of the hall, other plane is narrower; corners are mitered.	Fair to good condition; mild paint failure.	6-2 6-3
Window frame	19th century	7" W	Flat lumber used for this frame indicates that the rooms on this level were lower in the decorative hierarchy than rooms on the first floor where there is paneled framing.	Good condition; painted finish; no rot or paint failure visible.	6-2 6-3

Building at Risk

Table 6-1. The West Wall of the Second Floor Center Hall, continued.

Window stool	19th century	8" x 76" x 1"	Combined with frame and casing this window stool forms embrasure at an appropriate height for sitting; the south end of this stool abuts the wall; lacks apron.	Good condition; painted finish; no rot or paint failure visible.	6-2 6-3
Shutters	19th-20th century		Both upper and lower portions of the window have separate, operable shutters hinged in the center and at the window frame; constructed with four panels in rows of two; mortised hinges; room and street sides of the shutters same; modern hinges with cast brass catch.	Good condition; painted finish; mild paint failure.	6-2 6-3
Chair rail molding	18th century	12" H	12" high and 1" thick; single bead long both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century date.	Good condition; section near window exhibits black mold/mildew.	6-3
Baseboard		7" W	Flat lumber with beaded top edge.	Good; painted finish.	6-3

Chapter Six: Bostwick's Second Floor

Table 6-1. The West Wall of the Second Floor Center Hall, continued.

Flat plaster			Flat plaster with smooth finish.	Extremely poor condition; cracking under the window at the south corner, along the baseboard, and at the northern end; paint failure more than severe indicating moisture infiltration and/or improper preparation of plaster prior to painting.	6-3
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Building at Risk



Figure 6-3. The west wall in the upstairs center hall. Notice the six-over-six window with its shutters. The paint on the flat plaster has failed. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

Table 6-2. The North Wall of the Second Floor Center Hall.

Location: Center Hall~North Wall					
Item	Date	Size	Description	Condition	Figure #
Flat plaster			Flat plaster with smooth finish.	Extremely poor condition; cracking under the window at the south corner, along the baseboard, and at the northern end; paint failure is severe, indicating moisture infiltration and/or improper preparation of plaster prior to painting; some damage from lantern or candle is obvious at the west end of this wall.	6-5
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century time period.	Fair condition; largely hidden by radiator.	6-5
Radiator	Late 19th to early 20th century	32" W x 38" H	Highly ornamented cast iron radiator.	Fair to good; failure of painted finish; rust and rust stains are also evident; operable.	6-5

Building at Risk

Table 6-2. The North Wall of the Second Floor Center Hall, continued.

Door to northwest bedroom	19th century	34" W x 83" H	Early four-panel door; flat panels face the room while panels with feathered edges face the hall; cross pattern panel arrangement; signs of fill where hardware has been changed; oval brass-colored, metal knob with rectangular escutcheon plate; surface mounted lockset; brass-plated pin type hinges.	Fair to good condition; painted finish.	
Door casing on door to northwest bedroom	19th century	4" W	Top and east side consists of 1" x 4" flat lumber with a beaded inner edge; outside edge is a piece of applied 1" ogee milled molding; corner of molding mitered; remaining corners architrave style; casing on west side of door has been repaired with a section of 1" x 4" milled wooden baseboard with fluting and reverse ogee edge.	Poor due to inappropriate repair with baseboard material; slight failure of painted finish.	6-5 6-6
Door frame on door to northwest bedroom	19th century	10" W	Flat lumber.	Good condition; slight failure of painted finish.	6-5 6-6
Built-in cabinet	Mid-20th century		Plywood construction with six doors and one drawer; contains both shelves and areas to hang clothing; clear, cut-glass knobs and modern hinges.	Good; painted finish.	6-4

Chapter Six: Bostwick's Second Floor

Table 6-2. The North Wall of the Second Floor Center Hall, continued.

Door to northeast bedroom	19th century	34" W x 83" H	Early four-panel door; flat panels face the room while panels with feathered edges face the hall; cross pattern panel arrangement; signs of fill where hardware has been changed; early manufactured hinges; missing lockset; white ceramic knobs; evidence of at least two past locksets.	Fair condition; cracks at top of door and through one lower panel; chipping paint.	
Door casing on door to northeast bedroom	19th century	4" W	Consists of 1" x 4" flat lumber with a beaded inner edge; outside edge is a piece of applied 1" ogee milled molding; corners of the molding mitered; flat lumber is architrave style.	Poor because of inappropriate repair with baseboard material; slight failure of painted finish.	
Door frame on door to northeast bedroom	19th century	10" W	Flat lumber.	Good condition; slight failure of painted finish.	

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Figure 6-4. The built-in cabinets on the north wall of the upstairs center hall. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor



Figure 6-5. The north wall of the upstairs center hall showing smoke damage above the radiator. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-6. Inappropriate repairs on the casing of the door to the northwest bedroom. The upright portion has been replaced with a later material. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

Table 6-3. The East Wall and Stairs in the Second Floor Center Hall.

Location: Center Hall-East Wall					
Item	Date	Size	Description	Condition	Figure #
Stairs	18th-19th century		Early stairway with turned balusters in a dark stained wood; shape of handrail and knife marks on balusters indicate high level of hand work and thus an earlier date; some treads may have been replaced.	Good condition; stairs have pulled away from the walls due to the settling and movement of the house.	6-7 6-8
Flat plaster			Plaster over masonry wall with a smooth finish coat.	Excessive damage to plaster; severe cracking in area around stairs due to the movement and settling of the house; extreme paint failure.	6-9

Building at Risk



Figure 6-7. The stairs leading to the attic on the east wall of the second floor center hall. Photograph by Kathleen Manicke.

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Figure 6-8. Red arrows point to the places where the stairs have pulled away from the structure, indicating movement and settling of the house. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-9. Cracking and damage to the flat plaster walls around the stairs to the attic. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

Table 6-4. The South Wall of the Second Floor Center Hall.

Location: Second Floor Center Hall~South Wall					
Item	Date	Size	Description	Condition	Figure #
Flat plaster			Plaster over masonry wall with smooth finish.	Extremely poor; excessive cracking particularly around the doors and spalling of the plaster from the bricks beneath it; severe paint failure such that most of the paint is no longer on this wall.	6-10 6-11
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead long both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th date.	Good condition; section near window exhibits black mold/mildew.	6-10
Baseboard		7" W.	Flat lumber with beaded top edge.	Good; painted finish.	6-10

Building at Risk

Table 6-4. The South Wall of the Second Floor Center Hall, continued.

Doors (2)		34" W x 83" H	Early four-panel doors; flat panels face the room while panels with feathered edges face the hall; cross pattern panel arrangement; signs of fill where hardware has been changed; doors have been shortened to accommodate oak threshold that hides gap between bedroom and hall floors on the south side of the house at the second story level; both doors show evidence of filled places from earlier hardware; both doors have black steel, surfaced mounted locksets with white ceramic knobs.	Good condition with some minor cracking between the panels, rails, and stiles; painted finish.	
Door casing		1" x 4"	Flat lumber with applied molding on the outside edge; mitered corners.	Good condition.	6-10
Frame		7" W	Flat lumber.	Good condition.	

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Figure 6-10. The south wall in the second floor center hall. Notice the chair rail, baseboard, and poor condition of the flat plaster. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-11. The upper portion of the south wall in the upstairs center hall showing the extent of damage to the paint.
Photograph by Kathleen Manicke.

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Table 6-5. The Floor and Ceiling of the Second Floor Center Hall.

Location: Second Floor Center Hall~Floor and Ceiling					
Item	Date	Size	Description	Condition	Figure #
Floor	18th-19th century		Undetermined variety of wood; wide, random-width boards; top nailed with square nails some of which are wrought nails.	Generally good condition; some loose boards where nails are missing; floor not level due to the movement and settling of the structure.	6-14
Ceiling			Flat plaster with a smooth finish.	Extremely poor with excessive cracking and paint failure.	6-12 6-13
Light fixture	Late 20th-21st century		Colonial revival chandelier with brass-colored metal finish.	Operable.	6-12 6-13

Building at Risk



Figure 6-12. The ceiling of the second floor center hall. The plaster is cracking and buckling. The paint has failed. Photograph by Kathleen Manicke.

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Figure 6-13. The eastern end of the ceiling. Photograph by Kathleen Manicke.

Building at Risk

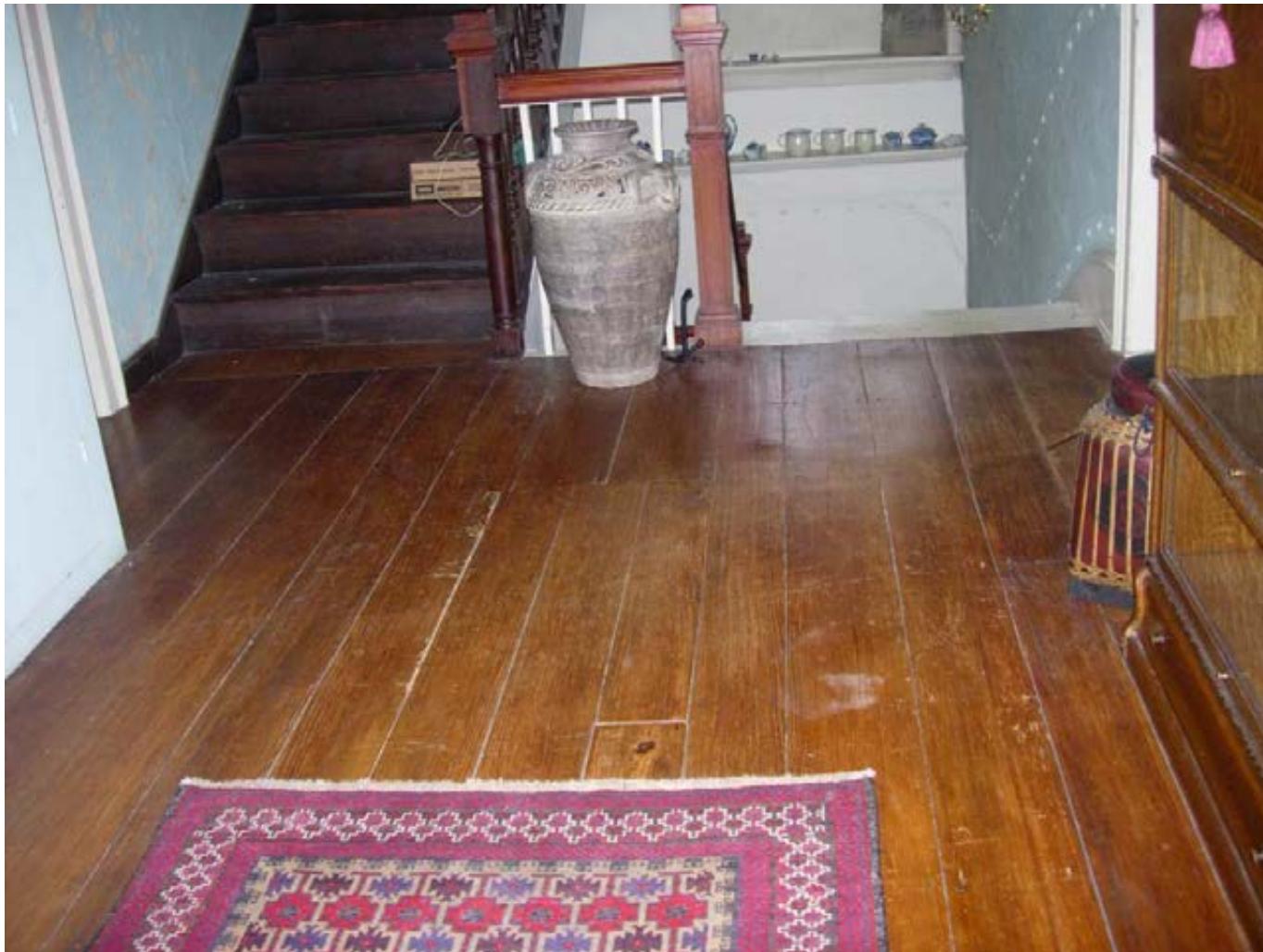


Figure 6-14. The floor in the upstairs center hall. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

The Southwest Bedroom

The southwest bedroom on the second floor of Bostwick's main block is a large, airy chamber with a high ceiling and a wooden floor made of wide, random-width planks. A narrow picture rail runs level with the tops of three large windows, and the same bolection chair rail molding found on the first floor is continued in this room. All three windows are four-over-four, double-sash, wooden windows; the two on the west wall have embrasures deep enough for seating. The four-panel, cross-style entry door may be original to the house.

The tables on the following pages present a detailed description of the walls, ceiling, and floor in the southwest bedroom as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in this room follow the tables.

Building at Risk

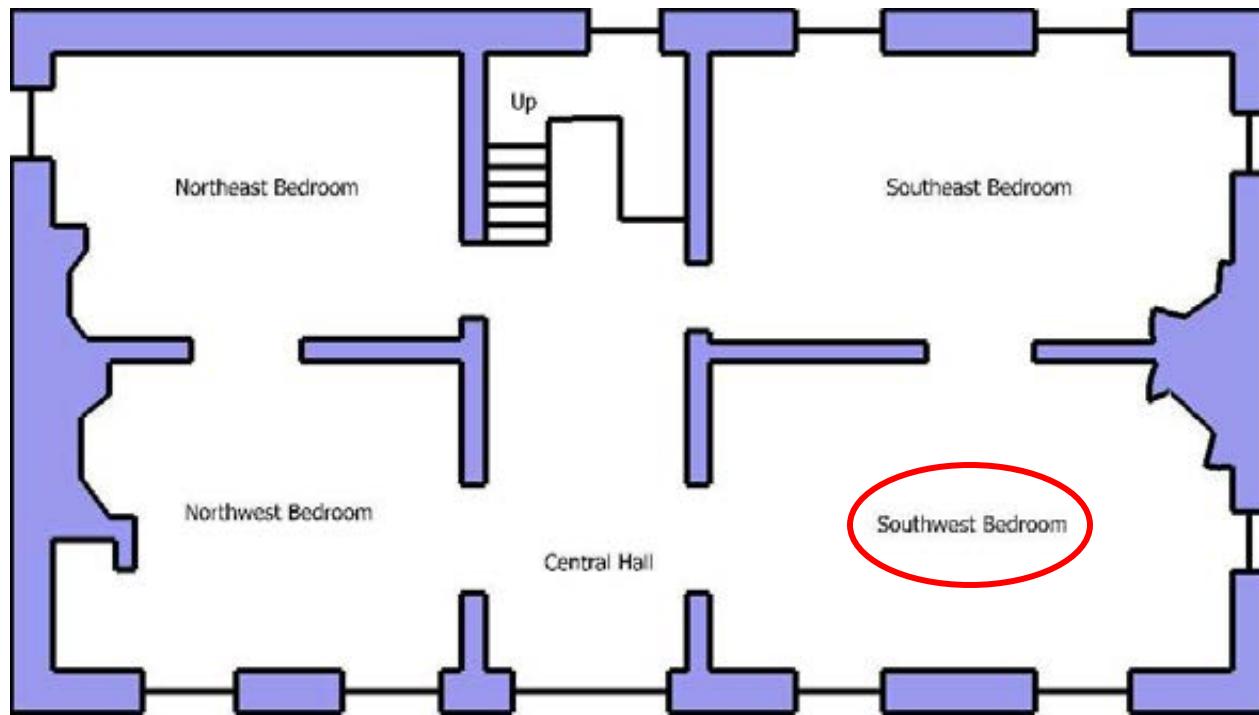


Figure 6-15. Plan of the southwest bedroom on the second floor of Bostwick's main block. Drawing by Kathleen Manicke.

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Figure 6-16. Bostwick's southwest bedroom. Photograph by Kathleen Manicke.

Building at Risk

Table 6-6. The West Wall of the Southwest Bedroom.

Location: Second Floor Southwest Bedroom~West Wall					
Item	Date	Size	Description	Condition	Figure #
Windows (2)	19th century	43" W x 93" H incl. embrasure	Large four-over-four, double-sash, wooden windows with narrow horizontal muntins and wide vertical muntins; window stop has been replaced with late 20th century painted wooden stop.	Good condition; 1 broken light; loose and failing putty; painted finish.	6-17
Window casing	19th century	6" W	Composed of flat lumber with a beaded inner edge and a milled backband molding applied to its outer edge; almost the full depth of the casing and backband molding stands above the plane of the adjacent flat plaster wall.	Good to excellent condition; painted finish.	6-17
Window frame	19th century	7" W	Flat lumber.	Good to excellent condition; painted finish.	
Stool	19th century	8½" D x 63" W	Composed of flat lumber and with the frame forms an embrasure that is of an appropriate height for sitting.	Good to excellent condition; painted finish just beginning to fail due to exposure to the weather when the window is open.	6-17

Chapter Six: Bostwick's Second Floor

Table 6-6. The West Wall of the Southwest Bedroom, continued.

Shutters (2 sets with 4 upper panels and 8 lower panels)	19th century	Lower panels 38" x 11" upper panels 38" x 22"	Flat-paneled shutters with a small ogee molding between the rail/stile and the panel; mortise and tenon joinery; the street side of the shutters is the same as the room side; manufactured 2-part hinges; brass-colored cast metal hook and eye; lack of characteristic marks of hand-planing suggest that these are built of machine-planed wood.	Good condition; some paint failure on the street-facing side; little if any rot.	6-17
Window apron	19th century	1" by 4"	Beaded lower edge; section of cove molding separates it from the stool.	Good condition; painted finish.	6-17
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century date.	Excellent condition.	6-17
Baseboard	18th century	6" H	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish.	6-17

Building at Risk

Table 6-6. The West Wall of the Southwest Bedroom, continued.

Picture rail	19th-20th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden, ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	6-17
Flat Plaster			Flat plaster over masonry with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-17

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Figure 6-17. The west wall of the southwest bedroom on Bostwick's second floor. Photograph by Kathleen Manicke.

Building at Risk

Table 6-7. The North Wall of the Southwest Bedroom.

Location: Second Floor Southwest Bedroom~North Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden, ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	6-18
Chair rail molding	18th century	12" H	12" wide; 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18 th -century date.	Excellent condition.	6-18
Baseboard	18th century	6" H	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish.	6-18

Chapter Six: Bostwick's Second Floor

Table 6-7. The North Wall of the Southwest Bedroom, continued.

Door (1)	Mid-18th century	34" W x 84" H x 1" T	Georgian; four-paneled, cross-style wooden door; flat panels face the room; raised panel with feathered edges faces the hall; early, wrought strap-style hinges mortised into the door; wooden pins where rail and stile meet; joints visible along sides of the rail; plane marks on the flat panel side; $\frac{1}{2}$ " of wood has been added to the top of the door; $\frac{3}{4}$ " added to the upper portion of the center stile on the flat panel side due to the cracking and separating of the panel from the stile.	Fair to poor condition due to inappropriate repairs; painted finish.	6-18
Hinges (2)	18th-19th century.		Early hand-wrought "L"-shaped strap hinges; Mortised into the flat panel side of the door; Wall side of hinge enclosed within casing; top hinge has 2 large wrought nails on the horizontal strap and 5 smaller nails on the vertical strap; the bottom hinge has nails and screws on the vertical strap and nails only on the horizontal strap.	Fair condition; operable; painted.	6-18

Building at Risk

Table 6-7. The North Wall of the Southwest Bedroom, continued.

Lockset	19th-20th century		Rectangular, surface mount lockset.	Good condition; operable.	
Door casing	19th-20th century	1" x 4½"	Flat lumber with a 2½" backboard molding that sits above the plane of the adjacent flat plaster wall.	Good condition; painted finish.	
Door frame	19th century	10"	Flat lumber.	Good condition; painted finish.	
Flat plaster			Flat plaster over masonry with smooth finish; room replastered since the town's purchase in 1997.	Good condition.	6-18

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Figure 6-18. The north wall of the southwest bedroom. Photograph by Kathleen Manicke.

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Table 6-8. The East Wall of the Southwest Bedroom.

Location: Second Floor Southwest Bedroom~East Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden, ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	
Chair rail molding	18th century	12" H	12" wide, 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th century time period.	Excellent condition.	6-19
Baseboard	18th century	1" x 6" H	Flat lumber with beaded top edge.	Good condition; painted finish.	6-19
Flat plaster			Flat plaster with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-19

Chapter Six: Bostwick's Second Floor

Table 6-8. The East Wall of the Southwest Bedroom, continued.

Door (1)	Late 19th-early 20th century	34" W x 81½" H x 1¼" thick	Wooden, four-paneled door with flat panels facing into the southwest bedroom and raised panels facing into the southeast bedroom; pin style hinges; metal surface-mounted lockset with white ceramic knobs.	Good condition; painted finish.	6-19
Door casing	19th-20th century	1" x 4½"	Flat lumber with a 2½" backboard molding that sits above the plane of the adjacent flat plaster wall.	Good condition; painted finish.	6-19
Door frame	19th-20th century	10" W	Flat lumber with a 2½" fluted area in the center.	Good condition; painted finish.	
East wall structure	1746		A section of this wall near the center hall was opened for study by the structural engineer; stud-type wall composed of 5" by 5" uprights placed 17" on center; these sit on a beam that is 4" by 8"; joists are mortised into this beam and are 3½" by 7" and approximately 18" on center; beam was undersized to hold weight of the wall resulting in considerable sagging to the beam since there are no supports below; pockets in between joists are filled with corncobs, apparently for insulation.	Good condition; severe sagging.	6-20 6-21

Building at Risk

Table 6-8. The East Wall of the Southwest Bedroom on the Second Floor of Bostwick's Main Block, continued.

Light fixtures (2)	Post- 1997		Two bronze-colored wall sconces with glass shades; installed by one of the town's caretakers.	Good condition; operable.	6-19
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Chapter Six: Bostwick's Second Floor



Figure 6-19. The east wall of the southwest bedroom. Note the sagging along the baseboards. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-20. Inside the east wall of the southwest bedroom. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor



Figure 6-21. The space between the floor joists was filled with corncobs for insulation. Photograph by Kathleen Manicke.

Building at Risk

Table 6-9. The South Wall in the Southwest Bedroom.

Location: Second Floor Southwest Bedroom~South Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden, ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18 th -century date.	Excellent condition.	6-22
Baseboard	18th century	6"	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish.	6-22
Flat plaster			Flat plaster over masonry with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-22

Chapter Six: Bostwick's Second Floor

Table 6-9. The South Wall in the Southwest Bedroom, continued.

Fireplace and mantel	Fireplace early 19th century; mantel is 20th century	Mantel 55" W x 71" H	Fireplace located in a curved wall connecting the east and south walls of this room; firebox has a square opening with no arch and is 29" W by 38" H; older brick lining with parging on the side walls of the firebox; concrete hearth; mantel is 20th century and made of flat lumber with machine-milled moldings.	Mantel in good condition; firebox in fair condition due to deterioration of mortar between bricks.	6-22
Windows (1)	19th century	32" W x 86" H	Wooden, four-over-four, double-sash windows; only lower sash is operable; lights are 13½" x 17", vertical muntins are 1½" wide; horizontal muntins are ½" wide; no casing or frame, just plaster; window stool rests on the chair rail molding and lacks apron.	Sash in excellent condition; older type glass has waves, bubbles, and flaws.	6-22
Shutters (2 sets with 4 upper panels and 8 lower panels)	19th century	Lower panels 43" x 8" upper panels 43" x 16"	Flat paneled shutters with a small ogee molding between the rail/stile and the panel; mortise and tenon joinery; the street side of the shutters is the same as the room side; manufactured 2-part hinges; brass-colored cast metal hook and eye; lack of characteristic marks of hand-planing suggest that these are built of machine-planed wood.	Good condition; some paint failure on the street-facing side; little if any rot.	6-22
Radiator	19th-20th century	45" W x 30" H	Cast iron radiator with logo "McKeesport" at top.	Good condition; operable; gold(brass metallic paint finish.	6-22

Building at Risk



Figure 6-22. The south wall in the southwest bedroom. Photograph by Kathleen Manicke.

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Table 6-10. The Ceiling and Floor of the Southwest Bedroom.

Location: Second Floor Southwest Bedroom~Ceiling and Floor					
Item	Date	Size	Description	Condition	Figure #
Ceiling			Flat plaster.	Good condition; not completely smooth due to repaired areas.	
Floor	18th- 19th century		Random-width, wide board flooring of an undetermined type of wood; top nailed; nails have square or oblong heads; severe sagging due to lack of support for the main beam and joists; sag is $\frac{1}{2}$ " per foot.	Fair to good condition; floor is sound but exhibits severe sagging.	6-23

Building at Risk



Figure 6-23. The floor in the southwest bedroom sags. Notice the block under the 3' wide dresser. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

The Southeast Bedroom

Bostwick's southeast bedroom on its second floor boasts a fireplace set into a curved chimney wall. The high ceilings and three large four-over-four, wooden, double-sash windows give the room a formal feeling. It is, however, to the sagging floor that the eye is drawn. Composed of wide, top nailed planks, the floor in the southeast bedroom sags over one inch for every three feet. This room was remodeled within the last ten years, and as a result, sports a large closet with bi-folding doors.

The tables on the following pages present a detailed description of the walls, ceiling, and floor in the southeast bedroom as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in this room follow the tables.

Building at Risk

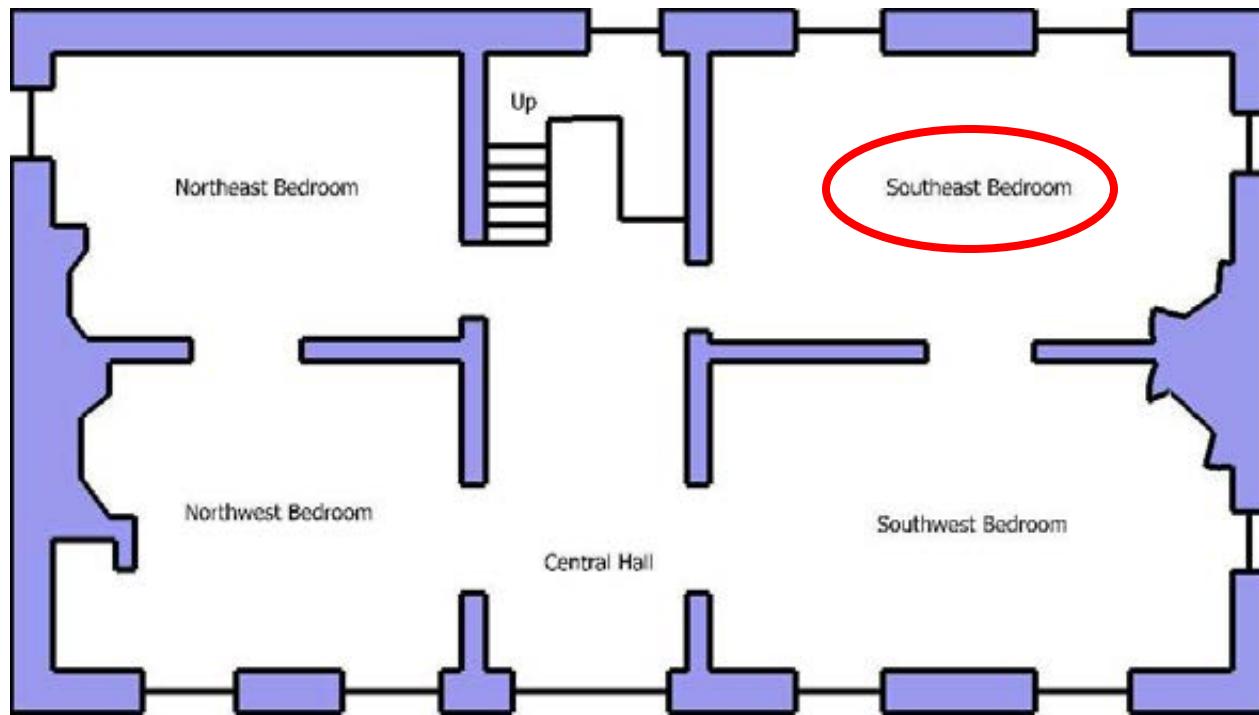


Figure 6-24. Plan of Bostwick's second floor showing the southeast bedroom. Drawing by Kathleen Manicke.

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Figure 6-25. The southeast bedroom on the second floor. Photograph by Kathleen Manicke.

Building at Risk

Table 6-11. The West wall of the Southeast Bedroom.

Location: Second Floor Southeast Bedroom-West Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden; ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	6-25
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18 th -century date.	Excellent condition.	6-25
Baseboard	18th-19th century	1" x 6"	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish; has pulled away from floor at the southwest corner of this wall.	6-25 6-26
Flat Plaster			Flat plaster with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-25

Chapter Six: Bostwick's Second Floor

Table 6-11. The West wall of the Southeast Bedroom, continued.

Door (1)	Late 19th-early 20th century	34" W x 81½" H x 1 ¼" thick	Wooden, four-paneled door with flat panels facing into the southwest bedroom and raised panels facing into the southeast bedroom; pin style hinges; metal surface-mounted lockset with white ceramic knobs.	Good condition; painted finish.	
Door casing	19th-20th century	1" x 4½"	Flat lumber with a 2 ½ " backboard molding that sits above the plane of the adjacent flat plaster wall.	Good condition; painted finish.	
Door frame	19th-20th century	10" W	Flat lumber with a 2½" fluted area in the center.	Good condition; painted finish.	
Flat Plaster			Flat plaster over stud-type wall with smooth finish; room replastered since the town's purchase in 1997; lath not exposed so type and condition could not be ascertained.	Excellent condition.	
Light fixtures (2)	Post-1997		Two bronze-colored wall sconces with glass shades installed by one of the town's caretakers.	Good condition; operable.	

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Table 6-12. The North Wall of the Southeast Bedroom.

Location: Second Floor Southeast Bedroom-North Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden; ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	6-27
Baseboard	18th century	6" H	Minimum 1" deep flat lumber with beaded top edge on back wall only; closet has newer, colonial revival type baseboard.	Good condition; painted finish.	6-27
Door (1)	Mid-18th century	34" W x 84" H x 1" thick	Georgian, four-paneled, cross-style wooden door; flat panels face the room; raised panel with feathered edges faces the hall; early, wrought strap-style hinges mortised into the door; wooden pins where rail and stile meet; joints visible along sides of the stiles.	Fair to poor condition because of inappropriate repairs; painted finish.	

Chapter Six: Bostwick's Second Floor

Table 6-12. The North Wall of the Southeast Bedroom, continued.

Hinges (2)	18th-19th century		Early hand-wrought "L"-shaped strap hinges; mortised into the flat panel side of the door; wall side of hinge enclosed within casing; top hinge has 2 large wrought nails on the horizontal strap and 5 smaller nails on the vertical strap; lower hinge is similar.	Fair condition; operable; painted.	
Lockset	19th-20th century		Rectangular, surface mount lockset.	Good condition; operable.	
Door casing	19th-20th century	1" x 4½"	Flat lumber with a 2½" backboard molding that sits above the plane of the adjacent flat plaster wall.	Good condition; painted finish.	6-26
Door frame	19th-20th century	10" W	Flat lumber.	Good condition; painted finish.	
Flat Plaster			Flat plaster over masonry with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-26
Built-in closet	2000	7'7½" W x 27"deep	Built-in closet with cupboard above; bi-fold doors are panels with modern hinges and gold/white ceramic knobs; side walls are drywall; elevated floor is plywood.	Excellent condition.	6-26

Building at Risk



Figure 6-26. The closet on the north wall of the southeast bedroom. Photograph by Kathleen Manicke.

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Table 6-13. The East Wall of the Southeast Bedroom.

Location: Second Floor Southeast Bedroom~East Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden; ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	6-27
Baseboard	18th century	6" H	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish.	6-27
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18 th -century date.	Excellent condition.	6-27
Window (2)	19th-20th century	43" W x 94" H incl. embrasure	Large four-over-four, double sash, wooden windows with narrow horizontal muntins and wide vertical muntins.	Good condition; painted finish; no rot or insect damage visible from the inside.	6-27

Building at Risk

Table 6-13. The East Wall of the Southeast Bedroom, continued.

Window casing	19th century	6" W	Composed of flat lumber with a beaded inner edge and a milled backband molding applied to its outer edge; almost the full depth of the casing and backband molding stands above the plane of the adjacent flat plaster wall.	Good to excellent condition; painted finish.	6-27
Window frame	19th century	7" W	Composed of flat lumber.	Good to excellent condition; painted finish.	6-27
Stool	19th century	8½" D x 63" W	Composed of flat lumber and with the frame forms an embrasure that is of an appropriate height for sitting.	Good to excellent condition; painted finish just beginning to fail due to exposure to the weather when the window is open.	6-27
Shutters (2 sets)	19th-20th century		4 panels per shutter with the street side identical to the room side; shutters over the lower portion of the window fold in on themselves; tongue-in-groove joinery between the rail and style; hardware is a cast, brass-colored metal; machine-made hinges.	Excellent condition.	6-27
Flat plaster			Flat plaster over masonry with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-27

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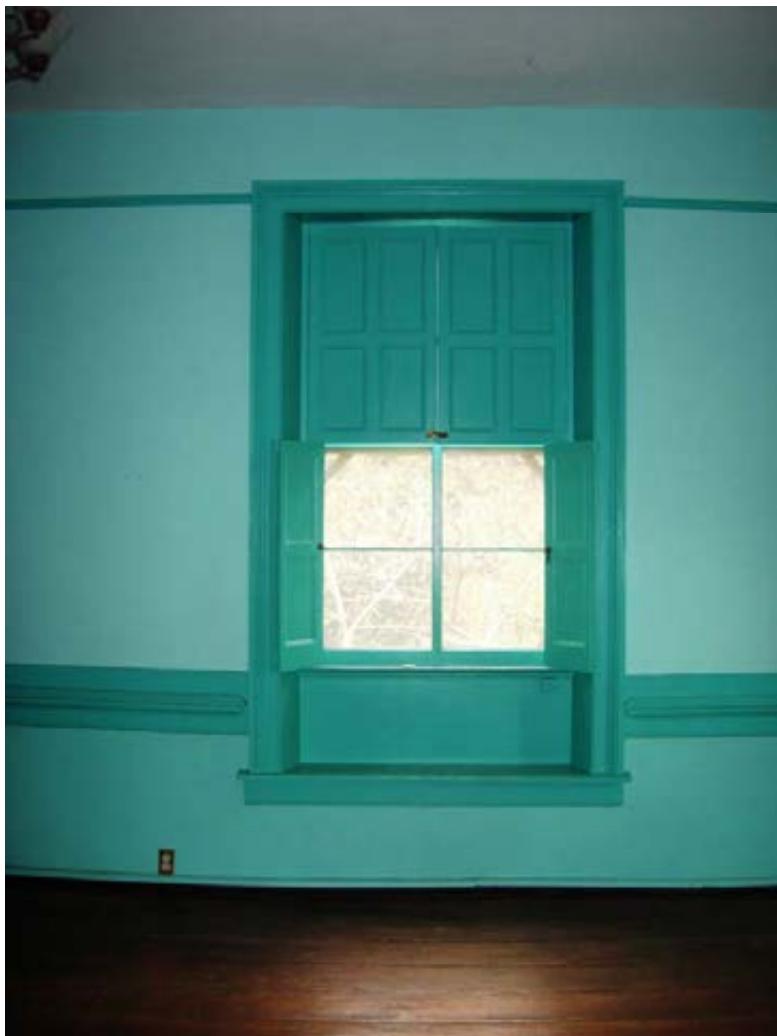


Figure 6-27. Window on the east wall of the southeast bedroom. Photograph by Kathleen Manicke.

Building at Risk

Table 6-14. The South Wall of the Southeast Bedroom.

Location: Second Floor Southeast Bedroom~South Wall					
Item	Date	Size	Description	Condition	Figure #
Picture rail	19th century	2" W	Runs even with the top of the windows approximately 12" below the ceiling; wooden; ogee-shaped molding used for holding metal picture-hanging clips.	Good condition; painted finish.	6-28
Chair rail molding	18th century	12" H	12" wide, 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18 th -century date.	Excellent condition.	6-28
Baseboard	18th century	1" x 6"	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish.	6-28
Flat plaster			Flat plaster over masonry with smooth finish; room replastered since the town's purchase in 1997.	Excellent condition.	6-28 6-29

Chapter Six: Bostwick's Second Floor

Table 6-14. The South Wall of the Southeast Bedroom, continued.

Fireplace and mantel	19th-20th century	Mantel is 65" W x 53" H	Fireplace located in a curved wall connecting the east and south walls of this room; firebox has a square opening with no arch; older brick lining with parging on the side walls of the firebox; brick hearth; mantel is in the colonial revival style.	Mantel in good condition; firebox in fair condition due to deterioration of mortar between bricks.	6-29 6-30
Windows (1)	19th century	32" W x 86" H	Wooden, four-over-four, double sash; only lower sash is operable; lights are 13½" x 17", vertical muntins are 1½" wide; horizontal muntins are ½" wide; there is no casing or frame, just plaster; window stool rests on the chair rail molding; no apron.	Sash in excellent condition; older type glass has waves, bubbles, and flaws.	6-28
Shutters (2 sets with 4 upper panels and 8 lower panels)	19th-20th century	lower panels 43" H x 8" W upper panels 43" H x 16" W	Flat paneled shutters with a small ogee molding between the rail/stile and the panel; mortise and tenon joinery; the street side of the shutters is the same as the room side; manufactured 2-part hinges; brass-colored cast metal hook and eye; lack of characteristic hand-planing marks indicates that shutters are 19th to 20th century	Good condition; some paint failure on the street-facing side; little if any rot.	6-28
Radiator	20th century	45"W x 30"H	Cast iron radiator with logo "McKeesport" at the top.	Good condition; operable; gold-brass metallic painted finish.	6-28

Building at Risk



Figure 6-28. Window on the south wall of the southeast bedroom. Photograph by Kathleen Manicke.

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Figure 6-29. Fireplace on the south wall of the southeast bedroom. Notice the curved wall behind the mantel. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-30. Joining the straight mantel to the curved fireplace wall at the corner of the south wall. Photograph by Kathleen Manicke.

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Table 6-15. The Ceiling and Floor of the Southeast Bedroom.

Location: Second Floor Southeast Bedroom~Ceiling and Floor					
Item	Date	Size	Description	Condition	Figure #
Ceiling			Flat plaster.	Good condition; not completely smooth due to repaired areas.	6-32
Floor	18th-19th century		Random-width, wide board flooring of an undetermined type of wood; top nailed; nails have square or oblong heads; severe sagging due to lack of support for the main beam and joists; sag is $\frac{1}{2}$ " per foot.	Fair condition; floor is sound but sags.	6-29 6-31 6-32
Chandeliers (2)	Post-1997		Bronze finish; multi-arm chandeliers installed by one of the town's caretakers.	Good condition; operable.	6-32
Ceiling medallions (2)	Post-1997		Styrene-applied ceiling medallions with shell and ribbon motif.	Good condition.	

Building at Risk



Figure 6-31. Movement of the house to the southwest has caused this gap at the southwest corner of southeast bedroom.
Photograph by Kathleen Manicke.

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Figure 6-32. The floor in the southeast bedroom. Notice the blocking required to level the bed. Photograph by Kathleen Manicke.

Building at Risk

The Northwest Bedroom

Last remodeled in the 1930s, the northwest bedroom on the second floor of Bostwick is a reflection of that time period. A bathroom, installed during that remodeling, occupies the northwest corner of this bedroom. The colonial-era chair rail found throughout the house is not present in this room. Instead, the walls are covered with wallpaper in a pattern that was popular during the middle years of the twentieth century. On its west wall, this room features two large, four-over-four, wooden, double sash windows with shutters. The east wall contains a small bathroom, fireplace, and a niche with an arched top. Other historic features in this room include the early twentieth-century door into the northeast bedroom and the colonial era door into the upstairs center hall figure.

The tables on the following pages present a detailed description of the walls, ceiling, and floor in the northwest bedroom as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in this room follow the tables.

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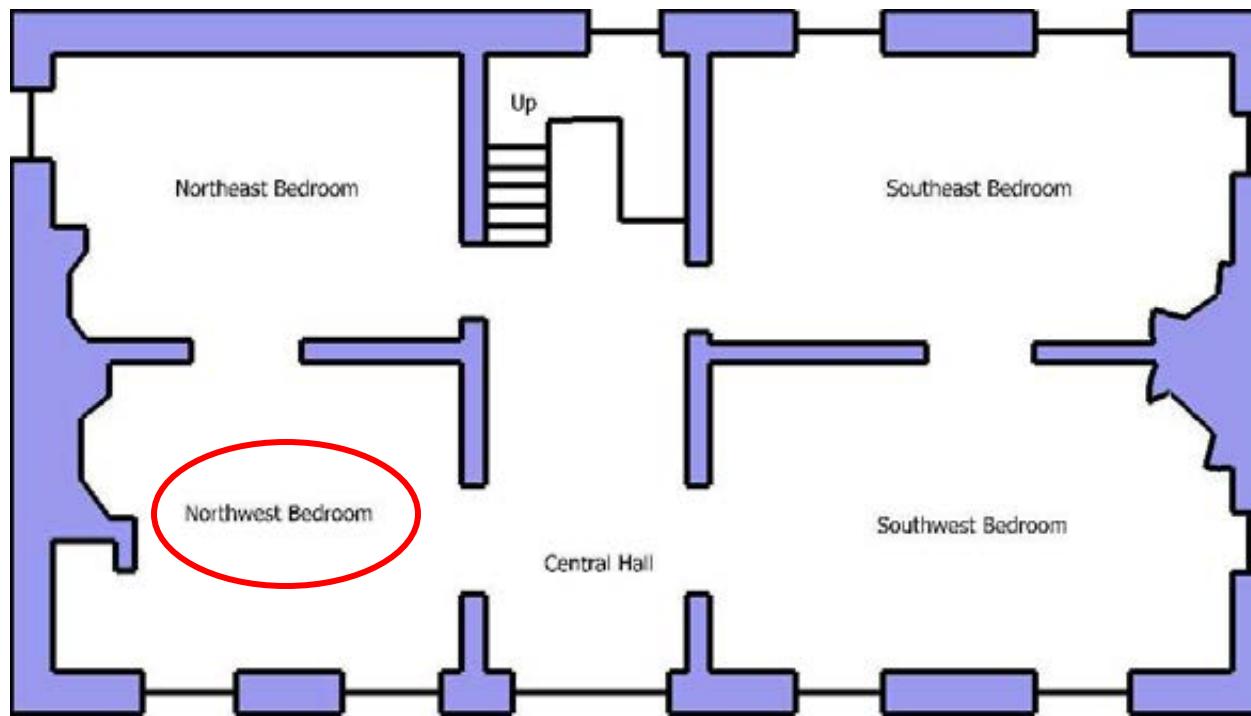


Figure 6-33. Plan showing the northwest bedroom on the second floor in the main block. Drawing by Kathleen Manicke.

Building at Risk

Table 6-16. The West Wall of the Northwest Bedroom.

Location: Second Floor Northwest Bedroom~West Wall					
Item	Date	Size	Description	Condition	Figure #
Windows (2)	19 th century	45" W 90" H	Four-over-four, wooden, double sash windows with narrow horizontal muntins and wide vertical muntins; lights are 19" W by 17" H; some old glass with waves and flaws; Small carved wooden piece is screwed to the window stop in order to hold the window in the up position; no evidence of other hardware.	Fair condition; two broken lights; severe alligatoring and chipping of paint; horizontal areas on the rails and muntins show slight to moderate rot.	6-34
Shutters (2 sets)			4 panels per shutter with the street side identical to the room side; shutters over the lower portion of the window fold in on themselves; tongue-in-groove joinery between the rail and style; hardware is a cast, brass-colored metal; machine made hinges.	Fair condition; cracks through some panels; moderate to severe alligatoring and failure of paint especially on the street side; little if any rot.	6-34
Casing		6" W	Colonial style with mitered corners.	Good to fair with a painted finish.	6-34

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Table 6-16. The West Wall of the Northwest Bedroom, continued.

Window frame	19th century	7"	Composed of flat lumber.	Good to fair condition with a painted finish exhibiting some paint failure.	6-34
Picture rail molding			Wooden, ogee-shaped molding for holding metal picture-hanging clips; runs even with the top of the windows approximately 12" below the ceiling level.	Fair to good; significant chipping and peeling of the painted finish.	
Baseboard	20th century	9½" H	8" flat lumber topped by 1½" ogee milled cap molding.	Good to fair with a painted finish.	6-34
Flat plaster			Flat plaster is covered with at least two layers of wallpaper over a green painted finish; paper above the picture rail is neutral color, random feather pattern; paper below rail is wild yellow roses on a gray background.	Poor condition; mild to moderate cracking of plaster; wallpaper peeling due to moisture infiltration and glue failure; water staining under south window; loose and torn wallpaper; grimy wallpaper.	6-34

Building at Risk



Figure 6-34. The west wall of the northwest bedroom. Photograph by Kathleen Manicke.

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Table 6-17. The North Wall of the Northwest Bedroom.

Location: Second Floor Northwest Bedroom~North Wall					
Item	Date	Size	Description	Condition	Figure #
Fireplace mantel	20th century	63" W x 55" H x 9" D	East side of fireplace protrudes 13" from the house's north wall; west side is flush with the bathroom wall; mantel is built from machine molded pieces in a colonial revival style, containing fluted pilasters and an unadorned architrave; the firebox opening is covered with plywood	Good condition; some opening of the cracks at the mitered corners.	6-36
Hearth	20th century	58" W x 12" D	Concrete hearth	Good condition; some opening of the cracks at the mitered corners.	6-36
Picture rail molding		2" W	Wooden, ogee-shaped molding for holding metal picture-hanging clips; runs even with the top of the windows approximately 12" below the ceiling level.	Fair to good condition; significant chipping and peeling of the painted finish.	6-35 6-36
Baseboard	20th century	9½" H	8" flat lumber topped by 1½" ogee milled cap molding	Good to fair with a painted finish.	6-35

Building at Risk

Table 6-17. The North Wall of the Northwest Bedroom, continued.

Flat Plaster			Flat plaster is covered with at least two layers of wallpaper over a green painted finish; paper above the picture rail is a neutral color, random feather pattern; paper below rail is wild yellow roses on a gray background.	Poor condition; severe cracking within the niche area near the northeast corner; wallpaper is stained and torn; large (over $\frac{1}{4}$ " crack at the corner between the fireplace and bathroom; indicates movement/settling where it joins with the Stoddert kitchen addition.	6-35 6-36
Door to bathroom (1)	20th century	34" W x 77" H	4-panel, cross-and-Bible style wooden door; panels are flat on both side; mortise and tenon joints are visible on both side rails; mortised lockset; cut glass knob; exposed metal has chrome finish	Good condition; paint finish is failing on the bathroom side of the door because of moisture infiltration.	6-35
Casing		1" x 4 $\frac{1}{2}$ "	Flat lumber with 2 $\frac{1}{2}$ " brick mold on the outer edge; mitered corners.	Good condition; moderate paint failure.	6-35
Frame		1" x 6"	Flat lumber with applied 1 $\frac{1}{2}$ " door stop	Good condition; moderate paint failure.	

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Figure 6-35. The door to the bathroom in the northwest bedroom. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-36. The fireplace on the north wall of the northwest bedroom. Photograph by Kathleen Manicke.

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Table 6-18. The East Wall of the Northwest Bedroom.

Location: Second Floor Northwest Bedroom~East Wall					
Item	Date	Size	Description	Condition	Figure #
Door (1)	20th century	34" W x 81½" H x 1½" T	4-panel, cross style door featuring feathered panel edges on both sides of the door; pin style hinges, painted steel surface-mounted lockset with white ceramic doorknobs.	Good condition.	6-37
Casing	20th century	1" x 4"	Differs from that on other doors in the room; consists of flat lumber with fluting in the center area; mitered corners.	Good; painted finish.	6-37
Door frame	20th century	10" W	Flat lumber with ¼" door stop.		6-37
Picture rail molding		2" W	Wooden, ogee-shaped molding for holding metal picture-hanging clips; runs even with the top of the windows approximately 12" below the ceiling level.	Fair to good; significant chipping and peeling of the painted finish.	6-37

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Table 6-18. The East Wall of the Northwest Bedroom, continued.

Baseboard	20th century	9 ½" H	8" flat lumber topped by 1½" ogee milled cap molding.	Good to fair with a painted finish.	6-37
Flat Plaster			Flat plaster is covered with at least two layers of wallpaper over a green painted finish; paper above the picture rail is a neutral color, random feather pattern; paper below rail is wild yellow roses on a gray background.	Poor condition; severe cracking within the niche area near the northeast corner; wallpaper is stained and torn.	6-37 6-38

Chapter Six: Bostwick's Second Floor



Figure 6-37. The east wall of the northwest bedroom. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-38. Large crack in the east wall at the northeast corner. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor

Table 6-19. The South Wall of the Northwest Bedroom

Location: Second Floor Northwest Bedroom~South Wall					
Item	Date	Size	Description	Condition	Figure #
Door (1)	Mid-18th century	34" W x 84" H x 1" T	Georgian, four-paneled, cross-style wooden door; flat panels face the room; raised panel with feathered edges faces the hall; early, wrought strap-style hinges mortised into the door; wooden pins where rail and stile meet; joints visible along sides of the rail; plane marks on the flat panel side.	Fair to poor condition due to inappropriate repairs; painted finish.	
Door hardware	20th century		Pin-type brass-colored hinges; brass-colored escutcheon plate with oval brass doorknob; brass-colored surface mounted lockset.	Good condition; operable.	
Door casing	19th-20th century	1" x 4½"	Flat lumber with a 2½" backboard molding that sits above the plane of the adjacent flat plaster wall.	Good condition; painted finish.	6-39
Door frame	19th-20th century	10" W	Flat lumber.	Good condition; painted finish.	

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Table 6-19. The South Wall of the Northwest Bedroom, continued.

Picture rail molding		2" W	Wooden, ogee-shaped molding for holding metal picture-hanging clips; runs even with the top of the windows approximately 12" below the ceiling level.	Fair to good; significant chipping and peeling of the painted finish.	
Baseboard	20th century	9 ½" H	8" flat lumber topped by 1½" ogee milled cap molding.	Good to fair with a painted finish.	
Flat Plaster			Flat plaster is covered with at least two layers of wallpaper over a green painted finish; paper above the picture rail is a neutral color, random feather pattern; paper below rail is wild yellow roses on a gray background.	Poor to fair condition; large crack from corner of door to ceiling; smaller cracks over entire wall surface.	
Radiator	19th-20th century	24" W x 42" H	Highly ornamented cast iron radiator.	Fair to good; failure of painted finish; rust and rust stains are also evident; operable.	6-39

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Figure 6-39. The door casing and wallpaper on the south wall in the northwest bedroom. Photograph by Kathleen Manicke.

Building at Risk

Table 6-20. The Ceiling, Floor, and Bathroom in the Northwest Bedroom

Location: Second Floor Southwest Bedroom~Ceiling, Floor, and Bathroom					
Item	Date	Size	Description	Condition	Figure #
Ceiling			Flat plaster with at least two layers of wall paper.	Undetermined condition; some cracking of the ceiling evident through the wall paper; loose and hanging wall paper.	6-40
Floor	18th-19th century		Random-width, wide board flooring of an undetermined type of wood; top nailed; nails have square or oblong heads.	Good condition; slight wearing of the finish; slightly uneven in places	
Bathroom (1)	20th century	6'5" x 4'10"	Located in the corner of the west and north walls; contains toilet, wall sink, and bathtub; sink is dated 1932; black and white ceramic tile floor; walls are covered with white 4" ceramic tiles with a black border; large plywood cupboard over the bathtub contains a galvanized steel mailbox mortared into the chimney wall.	Generally good condition with some cracked and broken tiles.	

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Figure 6-40. The ceiling of the northwest bedroom. Notice the two different types of wallpaper. Photograph by Kathleen Manicke.

Building at Risk

The Northeast Bedroom

Despite its generally poor condition, the northeast chamber on the second floor of the main block incorporates features from all of the major eras in Bostwick's history, including the chair rail, baseboard, doors, paneling, windows, niche, fireplace, floor, and the radiator. In its heyday, the room was a pleasant space that looked out over the shaded rear lawn.

The tables on the following pages present a detailed description of the walls, ceiling, and floor in the northeast chamber as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in this room follow the tables.

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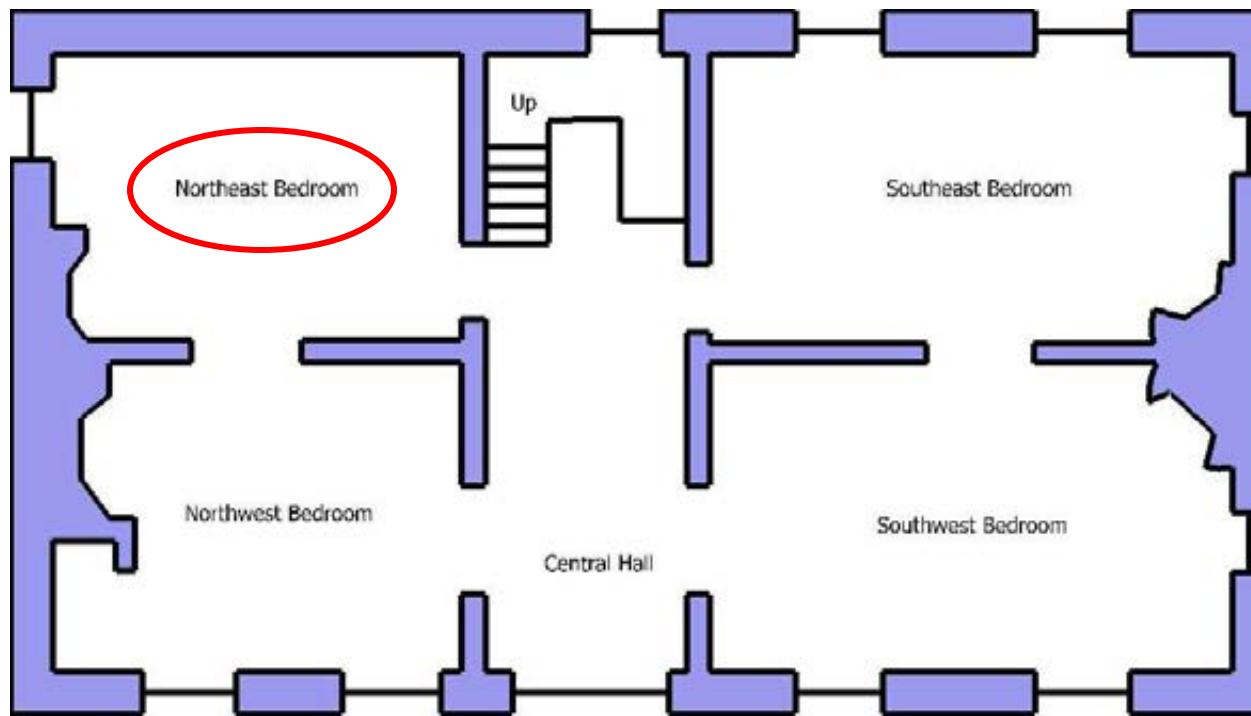


Figure 6-41. Second floor plan showing the northwest chamber. Drawing by Kathleen Manicke.

Building at Risk

Table 6-21. The West Wall in the Northeast Bedroom.

Location: Second Floor Northeast Chamber~West Wall					
Item	Date	Size	Description	Condition	Figure #
Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead along both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century date.	Excellent condition; painted finish exhibits significant alligatoring and chipping; no apparent sign of rot or insect damage.	6-42
Baseboard	18th century	6" W	Minimum 1" deep flat lumber with beaded top edge.	Good condition; painted finish exhibits significant alligatoring and chipping; no apparent sign of rot or insect damage.	6-42
Flat plaster			Flat plaster with smooth finish over masonry wall.	Generally good but poor in the area of the niche at the northwest corner that has a very large structural crack up to 1" through both the plaster and the brick wall behind it; crack runs from the ceiling to the floor; this severe cracking indicates that the north wall of the main block is settling at a different rate and/or direction than the rest of the main block; this is likely due to the addition of the Stoddert era kitchen wing.	6-43 6-44

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Table 6-21. The West Wall in the Northeast Bedroom, continued.

Door (1)	20th century	34" W x 81½" H by 1½" T	4 panel, cross style door featuring feathered panel edges on both sides of the door; pin style hinges, painted steel surface-mounted lockset with white ceramic doorknobs.	Good condition.	6-42
Door Casing	19th-20th century	6" W	Colonial revival style; composed of machine made moldings; mitered corners.	Good condition; painted finish exhibits mild to moderate alligatoring and chipping.	6-42
Door frame	20th century	10" W	Flat lumber with integral ¼" door stop.	Good condition; painted finish.	

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Figure 6-42. The door on the west wall in the northeast chamber. Photograph by Kathleen Manicke.

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Figure 6-43. The baseboard, chair rail, and flat plaster on the west wall of the northeast chamber. Notice the large cracks in the plaster at the intersection of the north wall. Photograph by Kathleen Manicke.

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Figure 6-44. Large crack on the west wall of the northeast chamber near the southwest corner. Photograph by Kathleen Manicke.

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Table 6-22. The North Wall of the Northeast Bedroom.

Location: Second Floor Northeast Chamber-North Wall					
Item	Date	Size	Description	Condition	Figure #
Fireplace	18th-19th century	61" W	Fireplace protrudes 15" into the room and reaches from floor to ceiling; firebox measures 17" D x 25" W by 35" H and is lined with older type brick; there is the shadow of an earlier arched opening; at present, there is no mantel on this fireplace; a shelf, measuring 6" by 61", has been installed over the fireplace; stone hearth.	Poor condition; lacks mantel; changes in shape and size of the firebox opening; missing and damaged bricks in the firebox lining.	6-45
Baseboard	18th century	1" x 6"	Flat lumber with beaded top edge.	Good condition; painted finish exhibits significant alligatoring and chipping; no apparent sign of rot or insect damage.	
Paneling	19th-20th century	8'4" W x 11'6" H	Wood paneling with mortise and tenon joinery; one large horizontal panel and four smaller ones combined with two tall vertical panels above chair rail level; bolection molding at chair rail height is similar to that found on the chair rail throughout the house; room side of paneling has raised panels with feathered edges while the closet side has flat panels; no hand planing marks are evident so the paneling was probably machine planed.	Good condition; side facing room has painted finish with significant alligatoring of the paint; side facing closet remains unpainted; some loose panels; no apparent evidence of rot or insect damage.	6-46

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Table 6-22. The North Wall of the Northeast Chamber, continued.

Closet door (1)	19th century	34" W x 76" H	Early cross-style, four panel wooden door; raised panels with feathered edges on the side facing the room; flat panels on the side facing the closet; 2" x 3" section has been cut from the bottom of the latch side of the door; mortise and tenon joinery visible on both stiles; joints held together with wooden pins; nail holes from earlier hinges evident as well as additional holes near the lockset.	Poor condition; failing painted finish; areas of rot along the lower edge; some insect damage; inappropriate top nailing where all three rails meet the stiles.	6-47
Door hardware	19th-20th century		Rectangular surfaced mounted lockset and latch; H-type strap hinges with six large nails; each strap is 1" x 8"; casing portion of hinge has been covered with the casing.	Good condition; operable; painted with what appears to be the same paint as the door; additional holes through the door near the lockset and the poorly filled cut around the latch indicate that the lockset and latch may not be original.	6-47 6-48
Door casing		1" x 4"	Flat lumber with applied molding on the outside edge; mitered corners.	Fair condition; large cut around the latch indicates that the existing latch is probably not original to the door.	6-47
Door frame		1" x 4"	Flat lumber with applied molding on the outside edge; mitered corners.	Good to fair condition; some areas of rot.	

Chapter Six: Bostwick's Second Floor

Table 6-22. the North Wall of the Northeast Bedroom, continued.

Flat plaster			Smooth finish over masonry walls.	Poor condition; structural cracks over $\frac{1}{4}$ " wide in the area of the niche and fireplace including one crack that is over 1" wide; some spalling of plaster where the wall meets the ceiling in the niche area; cracks may be because the north wall of the main block could be moving/settling at a different rate/direction than the remainder of the main block due to the addition of the Stoddert era kitchen.	6-44 6-46
Radiator	19th- 20th century	30" W x 38" H	Ornate, cast-iron radiator that has not been painted; marked "Rococo;" chrome vent.	Excellent; operable.	6-46

Building at Risk



Figure 6-45. The fireplace on the north wall of the northeast chamber. Photograph by Kathleen Manicke.

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Figure 6-46. The paneling, door, and radiator on the north wall of the northeast chamber. Photograph by Kathleen Manicke.

Building at Risk



Figure 6-47. The door on the north wall of the northeast chamber. Drawing by Kathleen Manicke.

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Figure 6-48. Hinge detail from the door on the north wall of the northeast chamber. Notice the rot at the bottom of the stile.
Photograph by Kathleen Manicke.

Building at Risk

Table 6-23. The East Wall of the Northeast Bedroom.

Location: Second Floor Northeast Chamber~East Wall					
Item	Date	Size	Description	Condition	Figure #
Window (1)	19th century	45" W x 92" H	Four-over-four, wooden, double-sash window; lights are 17" H and 19" W; old glass with waves and flaws; narrow horizontal and wide vertical windows.	Fair to good condition; failing putty; mild to moderate paint failure; 3 broken lights; milled window stop broken on one side of the window; inappropriately top-nailed with what appear to be large wire nails; slight rot on horizontal areas of rails and muntins.	6-50
Casing	19th-20th century	5 ½" W	Double casing similar to that in the south parlor; 2½" backboard molding sits above the plane of the adjacent flat plaster wall.	Good condition; painted finish.	6-49
Window frame		7"	Composed of flat lumber	Good condition; painted finish	6-49
Window stool and embrasure	19th-20th century	63" W x 9" D x 1" T	Wide, deep, wooden window stool with an embrasure deep enough for sitting; embrasure's back piece is flat lumber 14½" H by 45" W.	Fair to good; painted finish is beginning to check and alligator; flat lumber forming the back of the embrasure has two large cracks and has been inappropriately top-nailed with three different-sized nails.	
Apron	19th-20th century	1" x 6"	Two-part apron with lower beaded edge; cove molding at top.	Good condition; painted finish.	
Window hardware	19th-20th century		Thumb lift of cast metal; no latch; carved wooden piece for holding sash in "up" position.	Operable.	6-50

Chapter Six: Bostwick's Second Floor

Table 6-23. The East Wall of the Northeast Bedroom, continued.

Shutters (1 set)	19th Century		4 panels per shutter with the street side identical to the room side; shutters over the lower portion of the window fold in on themselves; tongue-in-groove joinery between the rail and style; hardware is a cast, brass-colored metal; machine-made hinges.	Fair condition; cracks through some panels; moderate to severe alligatoring and failure of paint especially on the street side; little if any rot.	
Chair rail	18th century	12" H	12" wide, 1" thick; single bead long both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18 th -century time date.	Excellent.	
Baseboard	18th-19th century	1" x 7"	Flat lumber with upper beaded edge.	Good condition; painted finish exhibits significant alligatoring and chipping; no apparent sign of rot or insect damage.	
Flat plaster			Flat plaster with smooth finish over masonry walls.	Poor condition; failing paint finish; moderate cracking and spalling of plaster under the window; major structural cracking in the upper southeast corner.	

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Figure 6-49. Casing and frame on the window in the east wall of the northeast chamber. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor



Figure 6-50. Window conditions on the east wall of the northeast chamber. Photograph by Kathleen Manicke.

Building at Risk

Table 6-24. The South Wall of the Northeast Bedroom.

Location: Second Floor Northeast Chamber~South Wall					
Item	Date	Size	Description	Condition	Figure #
Door (1)	19th century	34" W x 83" H	Early four-panel door; flat panels face the room while panels with feathered edges face the hall; cross pattern panel arrangement; signs of fill where hardware has been changed; early manufactured hinges; missing lockset; white ceramic knobs; evidence of at least two past locksets.	Fair condition; cracks at top of door and through one lower panel; chipping paint.	6-51
Door casing	19th century	4" W	Consists of 1" x 4" flat lumber with a beaded inner edge; outside edge is a piece of applied 1" ogee milled molding; corners of the molding mitered; flat lumber is architrave style.	Poor because of inappropriate repair with baseboard material; slight failure of painted finish	6-51
Door frame	19th century	10" W	Flat lumber.	Good condition; slight failure of painted finish.	

Chapter Six: Bostwick's Second Floor

Table 6-24. The South Wall of the Northeast Bedroom, continued.

Chair rail molding	18th century	12" H	12" wide and 1" thick; single bead long both top and bottom edges; wide bolection mold in center; similar piece found in attic shows pit-saw marks and wrought, spade-tipped nails indicating 18th-century century.	Fair condition; largely hidden by radiator.	6-51 6-52
Baseboard	18th century	1" x 6"	Minimum 1" deep flat lumber with beaded top edge; does not meet that on the east wall at the corner; 2" piece of wood bridges the gap.	Good condition; painted finish exhibits significant alligatoring and chipping; no apparent sign of rot or insect damage.	6-51
Flat plaster			Flat plaster with smooth finish over masonry wall.	Poor condition; several large cracks running diagonally from the top of the wall at the east corner to below the chair rail; large section of plaster has been knocked out to install an electrical outlet and wiring.	6-51 6-52

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Figure 6-51. The door on the south wall of the northeast chamber. Note the flat panels and old style hinges. Photograph by Kathleen Manicke.

Chapter Six: Bostwick's Second Floor



Figure 6-52. Damage to the flat plaster at the east end of the south wall in the northeast chamber. Photograph by Kathleen Manicke.

Building at Risk

Table 6-25. The Ceiling, Floor, and Closet in the Northeast Bedroom.

Location: Second Floor Northeast Chamber~ Ceiling, Floor, and Closet					
Item	Date	Size	Description	Condition	Figure #
Ceiling			Flat plaster over lath.	Fair to poor condition; mild to moderate cracking of the plaster surface.	
Floor			Wide, random-width plank floors; top nailed; nails have square or oblong heads.	Good condition; painted finish; some loose boards; unmatched trim pieces around the floor's perimeter; large gap between the floor and the wall varies from $\frac{1}{2}$ " to 2".	
Closet		2'9" x 8'2"	Northeast corner of room enclosed with paneling to make closet area; plaster walls; four-over-four, wooden, double-sash window; chair rail, flat plaster walls and ceiling; ceiling has 1" x 4" with beveled edges approximately 16" on center to support the plaster of the ceiling; various hooks at a convenient height for hanging clothes.	Generally poor condition; inappropriate repairs to the window stool cut into the chair rail; moderate to severe cracking of plaster; spalling plaster; missing plaster; "lick and stick" pictures adhered to flat paneled wall.	6-53

Chapter Six: Bostwick's Second Floor



Figure 6-53. The closet in the northeast chamber. Photograph by Kathleen Manicke.

Building at Risk

Summary

Bostwick's second floor presents an opportunity to showcase the private living spaces of the Lowndes, Stoddert, Stephen, and Kyner families. While the chambers on the south side have been renovated since Bostwick was purchased by the town of Bladensburg, there is still ample historic material remaining throughout the rooms on this floor. Like the rest of the structure, however, care should be taken to arrest the effects of time. The floors in the rooms on the south side of the central hall should be studied to ascertain the cause of their sagging and to make sure that these floors have an adequate load-bearing capacity for their future uses. Of equal concern are the large structural cracks in the brick walls on the north side of the house. These should be studied to determine the cause of the structure's movement in this area so that this movement can be halted before further structural concerns arise. Additionally, the cause or causes of the damage to the paint and plaster should be determined so that these can be repaired. The final priority on this floor should be to study the stairs to the attic in order to discover the cause of the structure's movement in that area. Contractors working in this area should be educated about the historic elements on this floor so that nothing is accidentally destroyed.

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Seven:

Bostwick's Attic



Building at Risk

Introduction

The attic floor at Bostwick is a fine example of colonial scribe-rule, timber-frame construction. The attic consists of three bays: the south bay, the central bay, and the north bay; all of the attic bays have a loft area above. The timber frame construction is fully exposed in the south bay where the scribe rule, or carpenters' numbering system, can be seen along with the heavy hand-hewn timbers used for posts and beams. The central bay that served as the attic floor's hall is dominated by a large dormer with a group of three Victorian-era arched-top windows. The north bay is divided into two rooms with fireplaces and plaster walls.

Bostwick's attic is a fine example of the colonial carpenter's craft. The attic structure that is seen today was most likely built in the carpenter's yard or on the ground. The joints and members were marked, or scribed, and then the whole thing was disassembled. Workers, most likely slaves, carried each piece to the top of the Bostwick's walls. The scribe marks were then matched, and the attic framework was reassembled using wooden pins.

The tables on the following pages present a detailed description of the each bay in the attic as well as an assessment of existing conditions as of June 1, 2007. Photographs illustrating the conditions in the attic follow the tables.

Chapter Seven: Bostwick's Attic

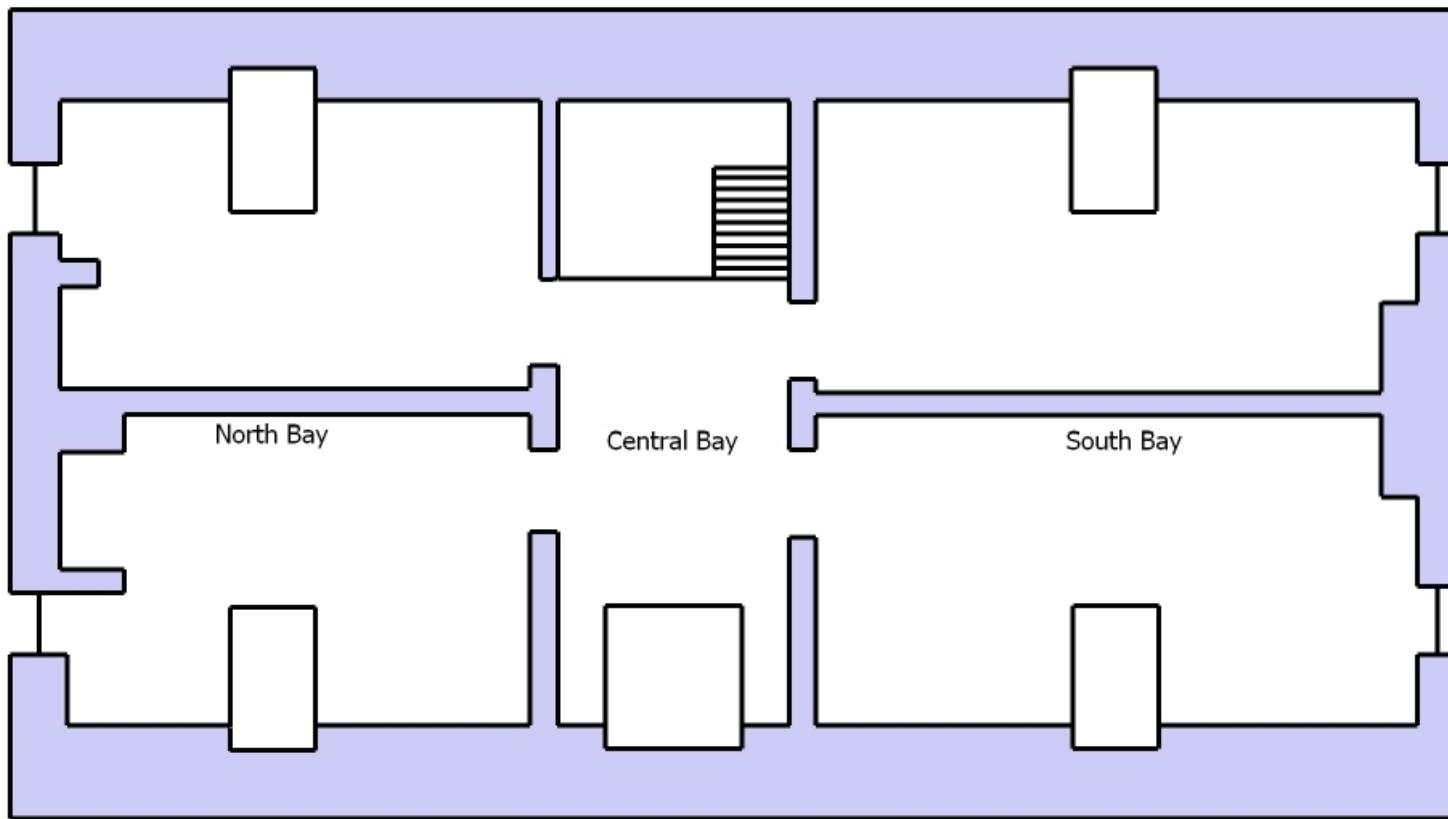


Figure 7-1. Plan of Bostwick's attic floor. Drawing by Kathleen Manicke.

Building at Risk

Table 7-1. The South Bay of the Attic.

Location: Attic South Bay					
Item	Date	Size	Description	Condition	Figure #
King post	1746	Upright 9" x 9" side braces 4½" x 6"	King post of undetermined variety of wood; located at the mid-point of the center wall in this bay; post and braces are hewn lumber with mortise and tenon joinery held together with wood pins; center beam and braces contain scribe mark <u>V</u> .	King post generally in excellent to good condition; lumber is sound with no evidence of rot or insect damage; signs of moisture infiltration; marks of mud wasp nests.	7-3
Center stud wall	1746	3" x 4" x 108" H	Runs along the center of the south bay from north to south; lap joints at the top join these studs to the joist above; lap joint is nailed with wrought nails, two per stud; these studs rest on the beam below; all but one have pulled away from the beam due to the settling of the house; one has fallen away completely.	Fair condition due to the sagging of the beam that holds this wall; studs are sound with no evidence of rot or insect damage.	7-2
North stud wall	1746	3" x 4" x 108" H	Located at the north end of the south bay; lap joints at the top join these studs to the joist above; lap joint is nailed with wrought nails, two per stud; these studs rest on the beam below; two door openings; pit-saw marks indicate an early date.	Good condition.	

Chapter Seven: Bostwick's Attic

Table 7-1. The South Bay of the Attic, continued.

Principal rafters	1746	4½" x 7½"	Principle rafters are pit-sawn and of an undetermined variety of wood; the west wall of the south bay contains four principal rafters as does the east wall: one at each end of the bay and one on either side of the dormer; mortise and tenon joints are held together with wooded pins; principal rafters and bracing contain scribe marks.	Principal rafters are generally sound; water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	7-4
Common rafters	1746	2 ½" x 3 ½"	Common rafters are 12-13" on center; undetermined variety of wood; common rafters have pit-saw marks; sections of the common rafters in the dormer area were removed to accommodate the dormer.	Common rafters are generally sound; water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	7-4 7-9
Purlins	1746	5" x 6"	Purlins made of pit-awn lumber of an undetermined variety.	Purlins are generally sound; water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	7-4 7-9
Roof deck	18th- 19th century		Random width; rough sawn lumber of undetermined variety; some appear to be pit sawn; black roofing felt is visible at seams and where knots have fallen away; some spade-tipped nails come through the deck; other nails are modern wire nails.	Evidence of roof leaks along the ridge; some white mold bloom.	7-4 7-9

Building at Risk

Table 7-1. The South Bay of the Attic, continued.

Collar beams	1746		Collar beams tie into principal rafters with mortise and tenon joints; collar beams also have mortises for joists; beams appear to be pit-sawn with the edges trued up with an axe.	Generally good condition.	
Roof joists	1746		Run at right angles to the collar beams; joined to the collar beams with mortise and tenon joints with wood pins; two joints have apparently been removed--perhaps to allow access to the area above.	Generally good condition	7-2 7-11
Ridge line	1746	1" x 4"	Light weight ridgeline approximately 1' x 4".	Ridge line generally sound; water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	7-7
Dormer (2)	19th century	37" W x 103" H	Dormers were added after house was built since lumber and construction techniques differ; sides of dormers are 1" thick lumber of varying widths; lengths of this lumber are not sawn to size; some have evidence of old paint/whitewash; some of this lumber was sawn using a reciprocal saw; sill areas are supported by three uprights each with plaster marks indicating that they were brought in from elsewhere; lumber was nailed in place using square-headed nails.	Generally good to fair condition; cutting of common rafters has caused some sagging of the roof in the area of the dormer.	7-5 7-6

Chapter Seven: Bostwick's Attic

Table 7-1. The South Bay of the Attic, continued.

Dormer windows (2)	20th century	30" W x 52" H	Six-over-six, wooden, double sash windows; no waves and flaws in the glass.	Good condition; painted finish.	7-5
South wall windows (2)	20th century	32" W x 52" H	Six-over-six, wooden, double sash window with rough lumber frame; wire nails.	Good condition; painted finish; painted shut.	7-11
Chimney	1746		Massive, T-shaped brick chimney centered on the south wall; protrudes 4' into the attic; this chimney has no firebox openings indicating that the south bay may have been used primarily as a storage area.	Fair to poor condition due to spalling of the brick; mortar has significantly washed away; some inappropriate parging with cement-based mortar; large structural cracks; portion of chimney above the collar beams and joists have plaster coating.	7-11
Brick wall	1746		South wall of attic area is structural masonry.	Fair to poor condition due to spalling of the brick; mortar has significantly washed away; some inappropriate parging with cement-based mortar; some structural cracking.	7-11
Floor	18th - 19th century		Random width boards of an undetermined variety; top nailed with square-headed nails.	Generally good to fair condition; some insect damage at the south end.	7-6

Building at Risk

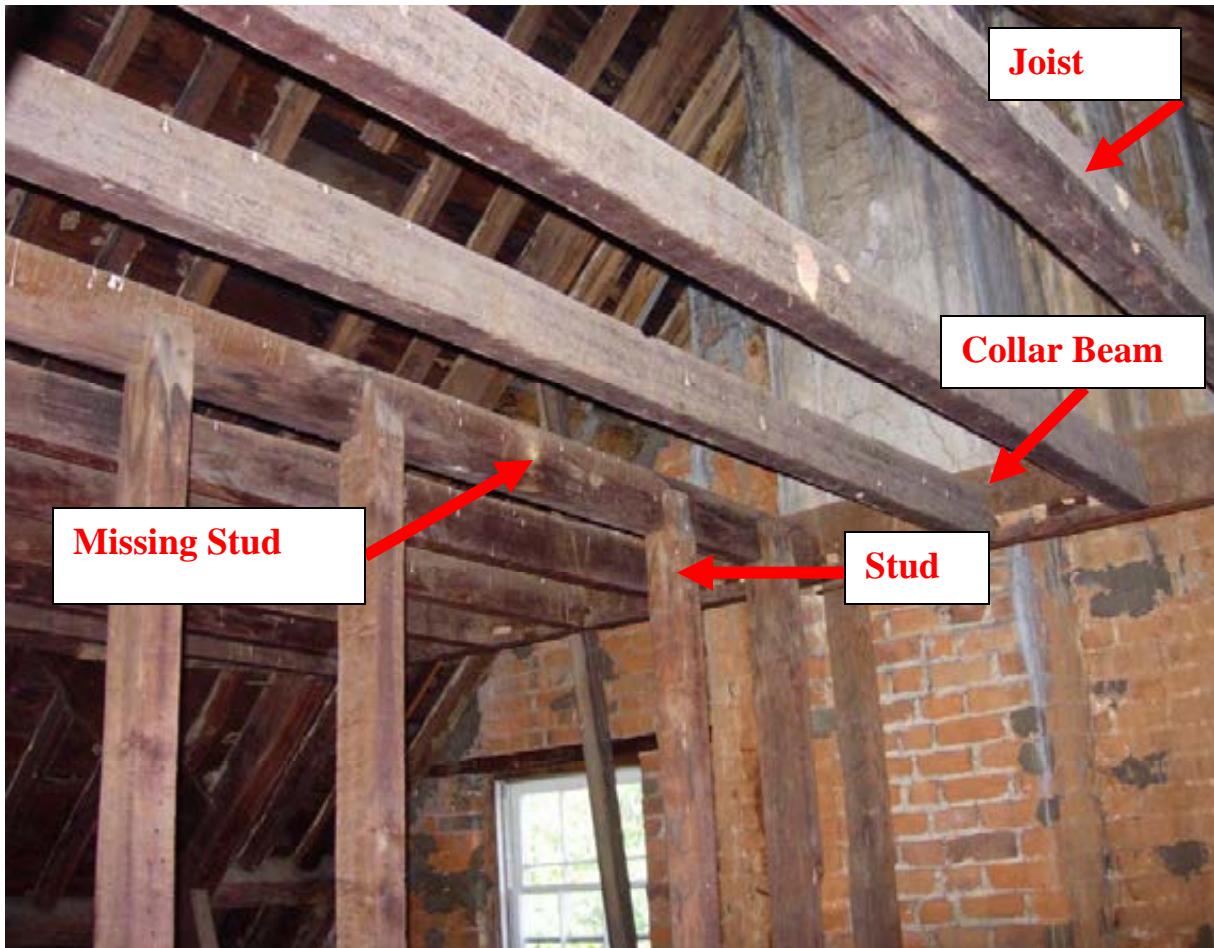


Figure 7-2. Joists, collar beams, and studs in the area of the center wall in the south bay. Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic



Figure 7-3. Mortise and tenon joinery on the king post. Notice the wooden pins. Photograph by Kathleen Manicke.

Building at Risk



Figure 7-4. Principle rafter with brace in the south bay of the attic. Notice the inappropriate parging and mortar repair on the brick wall. Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic



Figure 7-5. The dormer in the west wall of the south bay of the attic. Photograph by Kathleen Manicke.

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Figure 7-6. Uprights added to support the window in the west dormer. Photograph by Kathleen Manicke.

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Figure 7-7. Plastered chimney in the south bay. Note the mold bloom on the rafters. Photograph by Kathleen Manicke.

Building at Risk

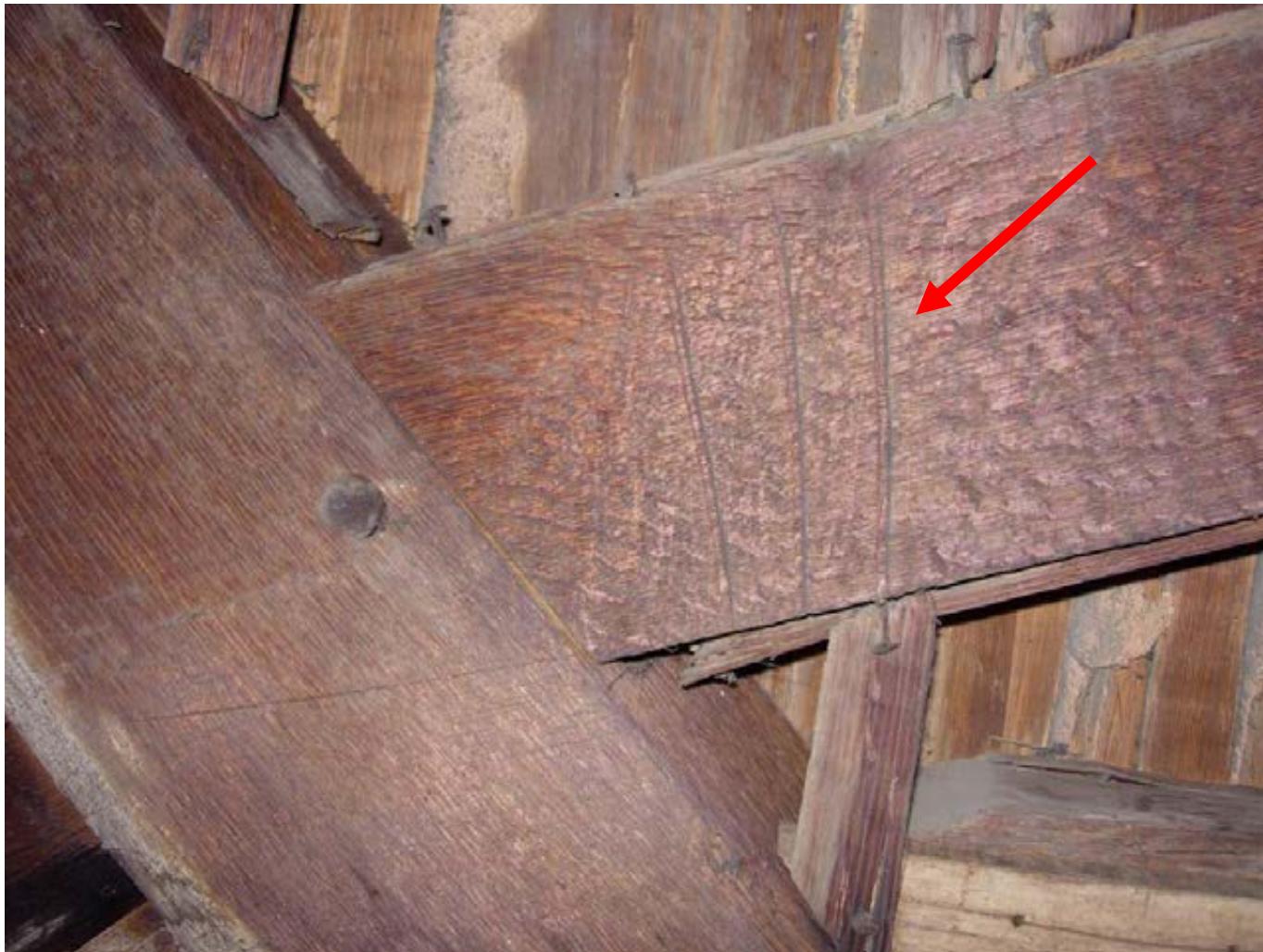


Figure 7-8. Scribe rule in Bostwick attic. This mortise and tenon joint is marked with a Roman numeral III (red arrow).
Photograph by Kathleen Manicke.

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Figure 7-9. Common rafters and purlin in the attic's south bay. Note the areas of mold bloom. Photograph by Kathleen Manicke.

Building at Risk

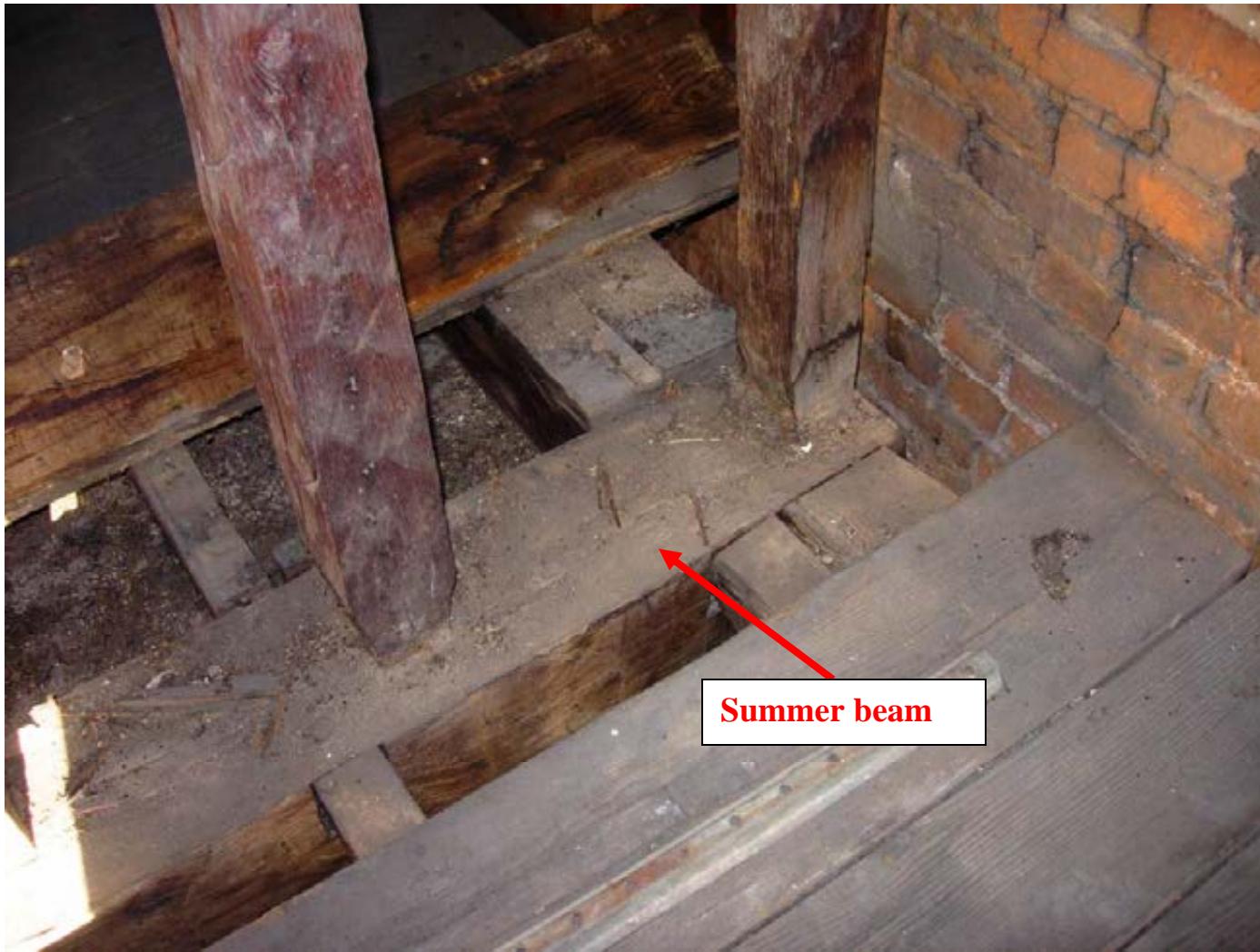


Figure 7-10. The center stud wall rests on a large summer beam. This photo was taken near the south wall. Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic

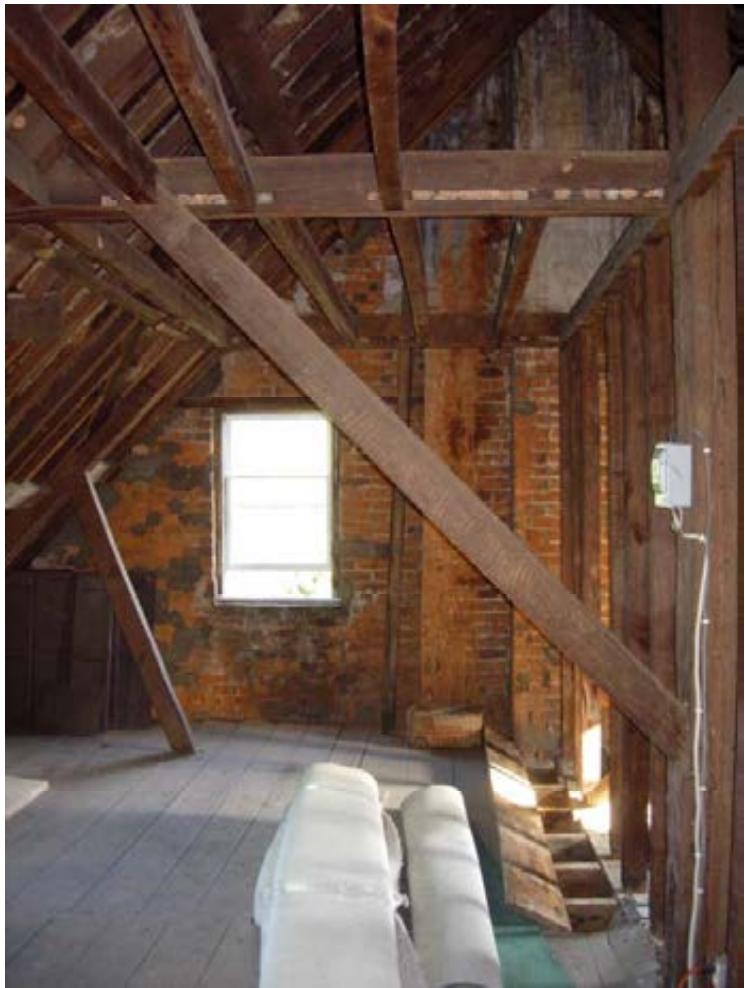


Figure 7-11. The south wall window and chimney. The diagonal brace is part of the king post. Photograph by Kathleen Manicke.

Building at Risk

Table 7-2. The Central Bay of the Attic.

Location: Attic Central Bay					
Item	Date	Size	Description	Condition	Figure #
Dormer	19th century	69" W x 121" H	Dormers were added after house was built since lumber and construction techniques differ; sides and roof of dormer is 1" thick lumber of varying widths; lengths of lumber not sawn to size; some have evidence of old paint/whitewash; some of this lumber was sawn using a reciprocal saw; sill areas are supported by five uprights some with plaster marks indicating that they were brought in from elsewhere; lumber nailed in place using square-headed nails.	Generally good to fair condition; cutting of common rafters has caused some sagging of the roof in the area of the dormer.	7-12
Dormer window group	19th century	64" W x 75" H	One large, Victorian window with a round arch at the top flanked on either side by a single, smaller window with a similar round arch at the top; large window is 32" W x 75" H; the smaller windows are 13" W x 66" H; the larger window has four-over-two vertical lights; the smaller windows have two-over-one lights.	Fair to good condition; painted finish.	7-12

Chapter Seven: Bostwick's Attic

Table 7-2. The Central Bay of the Attic, continued.

North, south, and west walls	18th century		Walls once covered with riven lath and plaster; nail holes and plaster marks are still on the uprights; currently some of the riven lath and wrought nails remain on the north wall; riven lath is of an undetermined variety of wood; walls are stud-type of an undetermined variety of pit-sawn wood; studs vary from 14" to 19" on center.	Good condition.	7-13
Ceiling	18th century		Once covered with riven lath and plaster; nail holes and plaster marks still on joists; currently only some of the riven lath remains; riven lath is of an undetermined variety of wood.	Good condition with some water damage evident on the joists.	7-12
East wall	19th- 20 th century		Composed of ship-lap lumber with a single beaded edge; variety of wood is unknown; this wall was added after the house was constructed since there is a pre-existing balustrade on this wall's east side.	Generally good to fair condition: cutting of common rafters has caused some sagging of the roof in the area of the dormer.	7-14

Building at Risk

Table 7-2. The Central Bay of the Attic, continued.

Landing door	18th-19th century	33" W x 71" H	4-panel, cross style door of undetermined variety of wood; mortise and tenon joinery; older H-type hinges; surface mounted lockset with evidence of a prior lockset on the opposite stile where a piece of planed wood, measuring 2½" by 8" has been toenailed to the door.	Good condition.	
Northwest chamber door	18th-19th century	33" W x 75" H	4-panel, cross style door of undetermined variety of wood; mortise and tenon joinery; older H-type hinge at the bottom with a strap hinge at the top; surface mounted lockset with evidence of a prior lockset; brown ceramic knob.	Good condition.	
Door openings in south wall (2)	18th century		Door openings into the west portion of the south bay and the east portion of the south bay.	Good condition.	
Door opening to northeast chamber	18th century		Door opening into the east portion of the north bay.	Good condition.	
Floor	18th - 19th century		Random width boards of an undetermined variety; top nailed with square-headed nails.	Generally good to fair condition; some insect damage.	

Chapter Seven: Bostwick's Attic



Figure 7-12. The dormer window and ceiling in the central bay. Photograph by Kathleen Manicke.

Building at Risk



Figure 7-13. The north wall of the attic's central bay includes doors into the chambers of the north bay. The wall is covered with riven lath. Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic

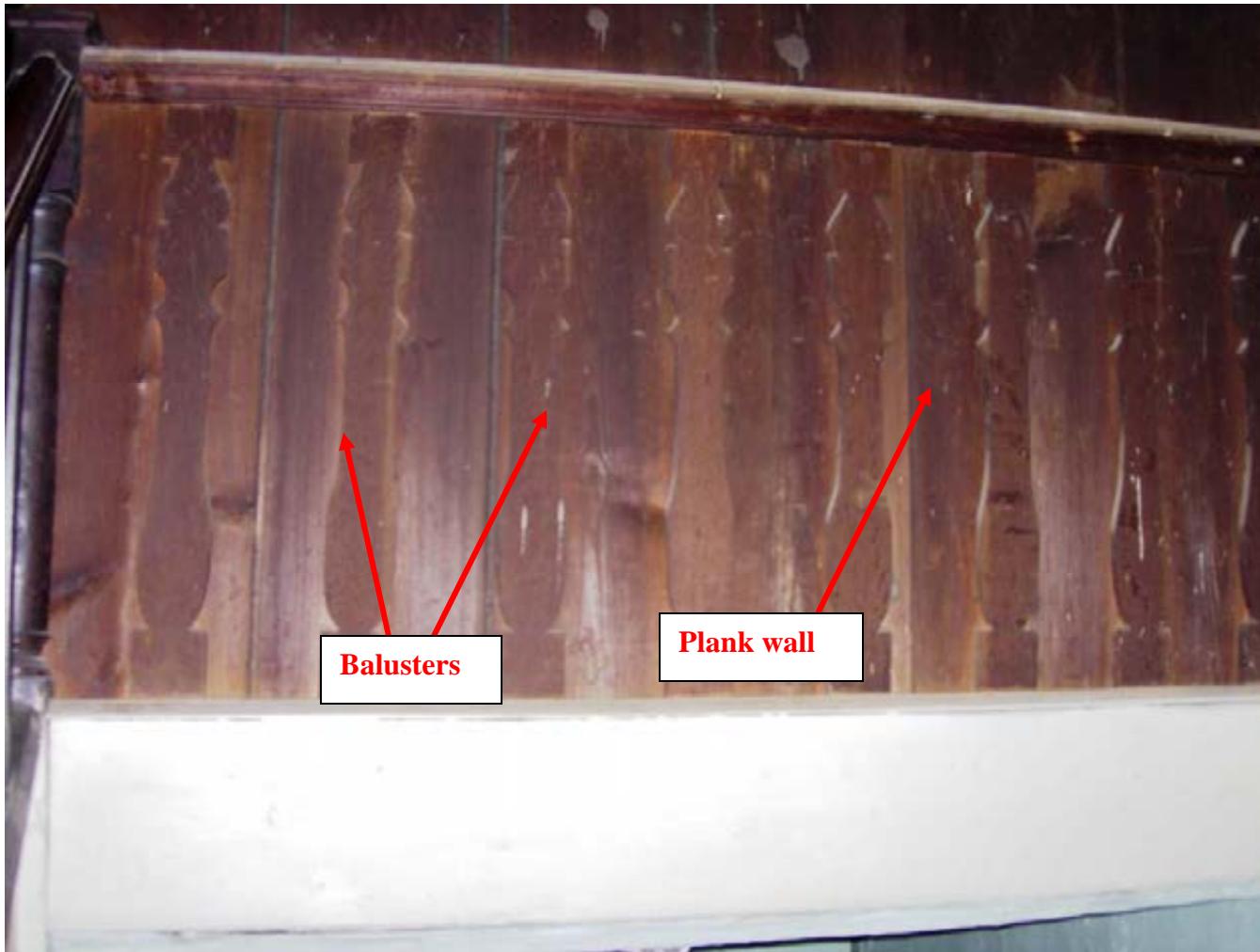


Figure 7-14. Plank wall built behind balusters in the attic's central bay. This view is from the stairs below. Photograph by Kathleen Manicke.

Building at Risk

Table 7-3. The North Bay of the Attic.

Location: Attic North Bay					
Item	Date	Size	Description	Condition	Figure #
Chimney	18th century		Rectangular-shaped chimney changes to T-shaped in the loft area; brick is covered with plaster in the northwest chamber; plaster no longer present in the northeast chamber; Chimney protrudes 39" into the attic space; two fireplaces in this chimney at the attic level indicate that they were likely used as living spaces; firebox openings have segmental arch at the top.	Fair condition; significant spalling of the brick due to moisture infiltration; washing of the mortar; significant gap between the chimney and the wall in the northwest chamber.	7-15 7-16 7-19
North wall (brick)	18th century		Composed of soft, older-type brick that exhibits significant spalling of the brick and washing of the mortar; some areas have been inappropriately repointed with cement-based mortar; and some small areas have been parged with a cement-based product.	Fair to poor condition.	7-15
North wall windows (2)	20th century	32" W x 52" H	Six-over-six; wooden, double sash window with rough lumber frame; wire nails.	Good condition; painted finish; painted shut.	7-15

Chapter Seven: Bostwick's Attic

Table 7-3. The North Bay of the Attic, continued.

Door opening to northeast chamber	18 th century		Door opening into the east portion of the north bay.	Good condition.	
Door opening to northwest chamber	18 th century		Door opening into the east portion of the north bay.	Good condition	
West and south walls in the northeast chamber	18 th century		These walls were once covered with riven lath and plaster; the nail holes and plaster marks are still on the uprights; currently some of the riven lath and wrought nails remain; riven lath is of an undetermined variety of wood; walls are stud-type of an undetermined variety of wood; studs vary from 14" to 19" on center; older type nails have been driven into the principal and common rafters on the east wall of this bay and may have been used for hanging clothing.	Good condition.	7-20

Building at Risk

Table 7-3. The North Bay of the Attic, continued.

King post in center wall	1746	9" x 9"	King post of undetermined variety of wood; located at the mid-point of the center wall in this bay; post is hewn lumber with mortise and tenon joinery held together with wood pins; no bracing on this post since it is supported from below by a masonry wall; center beam scribe rule is not visible.	King post generally in excellent to good condition; lumber is sound with no evidence of rot or insect damage; signs of moisture infiltration; marks of mud wasp nests.	
Principal rafters as seen in northeast chamber	1746	4½" x 7½"	Principal rafters are pit-sawn and of an undetermined variety of wood; west wall of the south bay contains four principal rafters as does the east wall: one at each end of the bay and one on either side of the dormer; mortise and tenon joints are held together with wooded pins; principal rafters and bracing contain the marks I and II on the northernmost two; the third scribe mark is not visible.	Principal rafters generally sound; water-marked areas somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	
Common rafters as seen in northeast chamber	1746	2½" x 3½"	Common rafters are 12-13" on center; undetermined variety of wood; common rafters have pit-saw marks; sections of the common rafters in the dormer areas were removed to accommodate the dormer.	Common rafters generally sound; water-marked areas somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	

Chapter Seven: Bostwick's Attic

Table 7-3. The North Bay of the Attic, continued.

Purlins as seen in the northeast chamber	1746	5" x 6"	Purlins made of pit-sawn lumber of an undetermined variety.	Purlins are generally sound; water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	
Roof deck as seen in the northeast chamber	18th-19th century		Random width; rough sawn lumber of undetermined variety; some appears to be pit sawn; black roofing felt is visible at seams and where knots have fallen away; some spade-tipped nails come through the deck; other nails are modern wire nails.	Evidence of roof leaks along the ridge; some white mold bloom.	
Collar beams as seen in the northeast chamber	1746		Collar beams tie into principal rafters with mortise and tenon joints; collar beams also have mortises for joists; beams appear to be pit-sawn with the edges trued up with an axe.	Generally good condition although water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	
Roof joists as seen in the northeast chamber	1746		Run at right angles to the collar beams; joined to the collar beams with mortise and tenon joints with wood pins; two joints have apparently been removed--perhaps to allow access to the area above.	Generally good condition although water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	

Building at Risk

Table 7-3. The North Bay of the Attic, continued.

Ridge line	1746	1" x 4"	Ridgeline approximately 1' x 4"; roof leaks in the area of the ridgeline have caused plaster to fall in the area below the ridgeline in the northwest chamber.	Ridge line generally sound; water-marked areas are somewhat soft upon probing; no evidence of insect damage; some white mold bloom.	
Dormer in northeast chamber	19th century	37" W x 103" H	Dormers added after house was built since lumber and construction techniques differ; sides of dormers are 1" thick lumber of varying widths; lengths of this lumber are not sawn to size; some have evidence of old paint/whitewash; some of this lumber sawn using a reciprocal saw; sill area is supported by three uprights each with plaster marks indicating that they too were brought in from elsewhere; this lumber was nailed in place using square-headed nails.	Generally good to fair condition: cutting of common rafters has caused some sagging of the roof in the area of the dormer.	
Dormer window in northeast chamber	20th century	30" W x 52" H	Six-over-six; wooden, double sash window; no waves and flaws in the glass.	Good condition; painted finish.	

Chapter Seven: Bostwick's Attic

Table 7-3. The North Bay of the Attic, continued.

Bracing in the northwest chamber	1746		Braces from principal rafters to floor are visible and contain the scribe marks I, II, and III.	Good condition.	7-17
West and south walls in the northwest chamber	18th-19th century		Flat plaster over masonry; large structural crack in the northeast corner where the chimney meets the east wall; significant cracking on other walls; some spalling of the plaster.	Poor condition.	7-17
Ceiling in the northwest chamber	18th-19th century		Flat plaster over riven lath; significant portions have dropped to floor; remaining plaster is loose most likely because of broken keys.	Poor condition.	7-17 7-18
Dormer in northwest chamber	19th century	37"W x 103"H	Flat plaster over wood and lath.	Fair to poor condition.	7-17
Floor	18th - 19th century		Random width boards of an undetermined variety; top nailed with square-headed nails.	Generally good condition.	7-17

Building at Risk



Figure 7-15. The northwest chamber in the attic's north bay. Photograph by Kathleen Manicke.

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Figure 7-16. The fireplace in the northwest chamber. It is plastered and has a segmental arch atop the firebox and a simple mantel shelf. Photograph by Kathleen Manicke.

Building at Risk



Figure 7-17. Principle rafters and bracing on a plastered wall in the northwest chamber. Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic



Figure 7-18. Moisture infiltration along the ridgeline has caused damage to the plaster ceiling in the northwest chamber. There is also evidence of water damage to the lath. Photograph by Kathleen Manicke.

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Figure 7-19. Spalling plaster on the fireplace wall in the northwest chamber. Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic



Figure 7-20. Studs and riven lath in the northeast chamber of the attic's north bay. Photograph by Kathleen Manicke.

Building at Risk



Figure 7-21. View of the west wall of the northeast chamber showing studs and riven lath. Some of the lath is missing.
Photograph by Kathleen Manicke.

Chapter Seven: Bostwick's Attic

Summary

Bostwick's attic floor contains a wealth of historic fabric that documents the craft of the carpenters and joiners who constructed it. As such, every effort should be made to preserve this area for further study. Despite attempts in 2006 to repair the roof, the attic space continues to suffer the effects of continued moisture infiltration including damage to the remaining ceiling plaster, lath, and wooden members. The roof should be replaced immediately to correct these conditions. Once the source of moisture has been eliminated, the town should proceed to stabilize the attic area. The relatively open south bay should be preserved in its current open state for study, while the once-plastered north bay could be used as display, office, or storage space.

Building at Risk:

A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Eight:

Bostwick's Stoddert Addition



Building at Risk

The First Floor of the Stoddert Addition

The Stoddert addition was added to provide kitchen and living space during the time the Stodderts occupied Bostwick (1789-1813). At that time, the entire main floor of the addition was used for cooking. The upstairs space was living quarters for the kitchen workers as well as a storage area. While the main floor was at one time a single room, it is now divided into two rooms. The southern, and largest, room is the present kitchen. Like many kitchens, it has undergone many remodelings that have significantly changed its appearance. Today, it possesses factory-built oak cabinets, beige laminate countertops, a black/white ceramic tile backsplash, black glass built-in appliances, and dark green ceramic tile flooring. All of these materials date to the late twentieth century. The remaining historic fabric in the kitchen is limited to the windows, doors, wainscoting, a built-in cupboard with glass doors, and the radiator.

The northern room of the main floor is now a bathroom dominated a large, deep fireplace for cooking that was original to the addition. Other features in this room, however, date to the late twentieth century and include a large shower, toilet, and bathroom sink set into a painted oak cabinet. White and green hexagonal tile provide a wainscoting, and the floor is covered with the same green ceramic tile as the kitchen.

The chart below contains descriptions and condition assessments of the historic elements in the kitchen and bath as of June 1, 2007. Photographs of the first floor space follow the chart.

Building at Risk

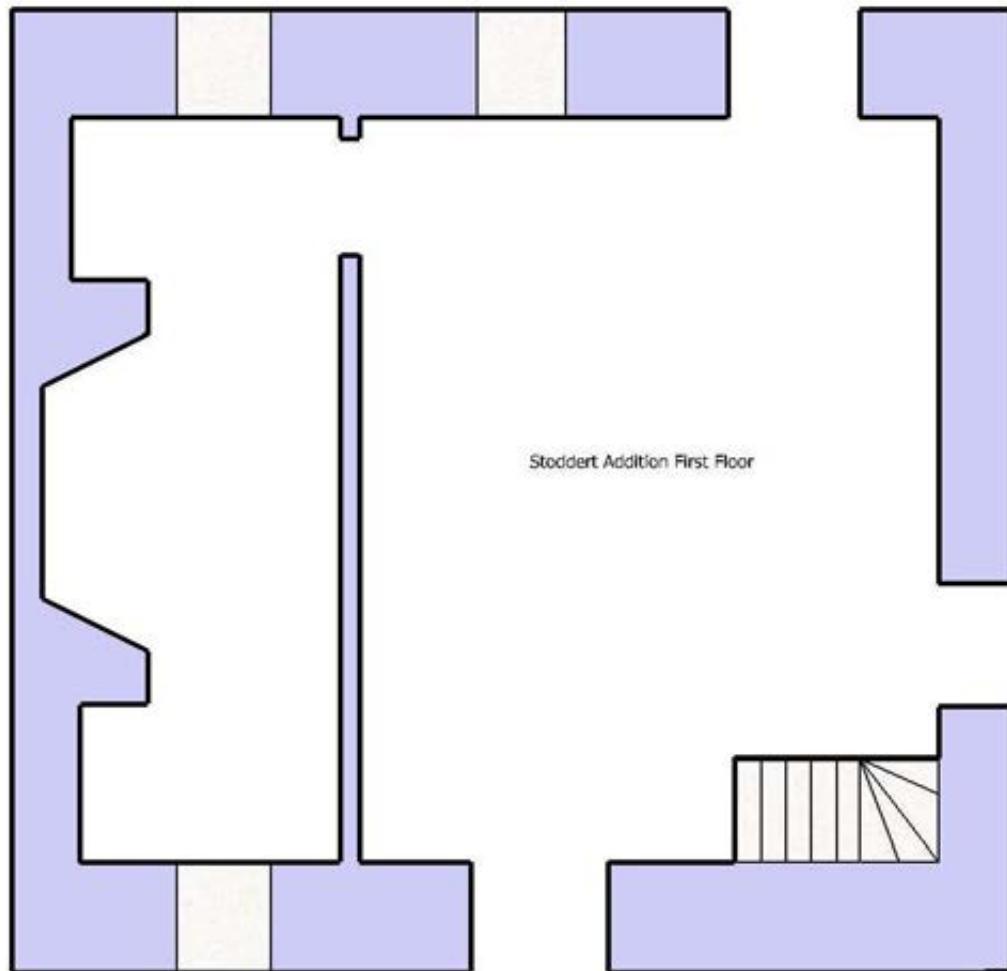


Figure 8-1. Plan showing the first floor of the Stoddert addition. The fireplace is on the north wall. Drawing by Kathleen Manicke.

Chapter Eight: Bostwick's Stoddert Addition

Table 8-1. The First Floor of the Stoddert Addition.

Location: Kitchen Addition First Floor (Kitchen and Bath)					
Item	Date	Size	Description	Condition	Figure #
Windows (3)	20th century	34" W x 52" H	Six-over-six, wooden, double sash windows.	Kitchen window is fair to poor condition with some rot on the bottom of the lowest rail; failing paint with mild to moderate alligatoring; failing putty; bathroom window on the west side is in the same condition; the bathroom window on the east side of building is in fair to poor condition with significant rot on the bottom rail that extends into the stiles, paint has failed completely as has the putty; window has one broken light.	
Door on east wall	20 th century	34" W x 77" H	Constructed of beaded, random-width, tongue-in-groove boards with a beveled 1" x 5" batten at the top and a 1" x 7" batten at the bottom for nailing strips; appears to be hand-built.	Good condition with no rot evident upon random probing; painted finish is stable.	8-8
Hardware on east wall door	Late 19th to 20th century		One surface-mounted, painted steel, lock set with brown ceramic knob; 2 steel sliding bolts; hinges of later type.	Operable.	8-8
Door on west wall	Late 19th to early 20th century	32" W x 78" H	Wooden door with large single light above and three panels below--two vertical topped by one horizontal.	Good condition.	8-3 8-5

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Table 8-1. The First Floor of the Stoddert Addition, continued.

Hardware on west wall door	Late 19th to 20th century		Two large, pin-type hinges; one sliding bolt lock; one painted steel mortised lockset and door knob.	Hinges and sliding bolt are operable; lock set is not.	8-5
Door to basement	20th century	30" W x 70" H	Constructed of random-width, tongue-in-groove lumber; "Z" brace on the back of the door made from varying widths of lumber; "Staywell" pet door near the center-bottom of this door.	Good condition	8-4
Hardware on basement door	Late 19th to 20th century		H-type strap hinges--some screws on the door jamb have been replaced with modern Phillip's head screws; painted steel surface-mount lockset; small sliding bolt lock.	All operable	8-4
Door to dining room	19th to 20th century	34" W x 89" H x 1" thick	Wooden paneled door with four panels; the longer panels are at the top; appears to be machine manufactured.	Good condition; painted finish.	
Door and window casing throughout first floor kitchen addition	Late 19th to 20th century	1" x 3 $\frac{3}{4}$ "	Architrave-type casing built of flat lumber.	Generally good condition.	8-3 8-4 8-5 8-6 8-7 8-8
Door to bathroom	Late 19th to 20th century	30" W x 76" H	Constructed of random width, tongue-in-groove lumber with a beaded edge; bathroom side has battens at both the top and the bottom.	Good condition.	8-7

Chapter Eight: Bostwick's Stoddert Addition

Table 8-1. The First Floor of the Stoddert Addition, continued.

Bathroom door hardware	Late 19th to 20th century		Painted steel, surface-mount lockset with brown ceramic knob; two hinges; one small sliding bolt.	Operable.	8-7
Kitchen radiator	Late 19th to 20th century	30" W x 45" H	Ornate steam radiator; thick paint obscures name and logo.	Operable; little rust; metallic painted finish.	8-3 8-5
Built-in Cupboard on south wall	Late 19th to 20th century		Built-in cupboard; upper portion has two doors with large lights and shelves for storage; below are two drawers that measure 19" W by 5" H; below the drawers are two doors with flat panel front; shelves for storage behind.	Good condition.	8-2
Cupboard hardware	Late 19th to 20th century		Small latch on glass doors; two wooden knobs on each drawer; large latch on bottom doors	Operable condition.	8-2
Wainscoting	Late 19th to 20th century	49" H	Wide, random-width boards top nailed; wooden cap.	Good condition; painted finish.	8-2 8-5

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Table 8-1. The First Floor of the Stoddert Addition, continued.

Fireplace	Early 19th century	93" W	Protrudes 32" into the first floor area which has since been walled off to form a bathroom; was once where cooking was done in the kitchen; firebox opening is 54" x 57"; area of segmental arch is now covered with plaster but a curved piece of 1" x 2" iron/steel the width of the firebox opening is visible.	Fair to poor condition; because of the following: chimney needs repointing; missing/loose bricks, vent fan for bathroom has been inserted into the chimney; spalling of the bricks in the chimney and firebox; mortar in chimney and firebox has washed away; inappropriate cement-based mortar has been used to repoint the brick in some areas.	8-9
Stairs	Late 19th to 20th century		Narrow, winding stairs to second floor constructed of machined-planed lumber.	Good condition.	

Chapter Eight: Bostwick's Stoddert Addition



Figure 8-2. The built-in cupboard on the first floor of Bostwick's Stoddert addition. Photograph by Kathleen Manicke.

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Figure 8-3. The radiator on the first floor in the Stoddert addition. Notice the basement and west wall doors. Photograph by Kathleen Manicke.

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Figure 8-4. The door to the basement from the first floor of the Stoddert addition. Photograph by Kathleen Manicke.

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Figure 8-5. The door in the west wall of Bostwick's Stoddert addition. Notice the wainscoting on the wall opposite the radiator.
Photograph by Kathleen Manicke.

Chapter Eight: Bostwick's Stoddert Addition



Figure 8-6. The north wall of Bostwick's kitchen as it appeared in June of 2007. Photograph by Kathleen Manicke.

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Figure 8-7. The door from the kitchen to the bathroom in Bostwick's Stoddert addition. Photograph by Kathleen Manicke.

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Figure 8-8. Door on the east wall of Bostwick's Stoddert addition. The door leads to the rear-facing porch and back yard.
Photograph by Kathleen Manicke.

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Figure 8-9. The fireplace in the Stoddert addition. Note the poor condition of the brick. Photograph by Kathleen Manicke.

Chapter Eight: Bostwick's Stoddert Addition

The Second Floor of the Stoddert Addition

Up a narrow, winding staircase from the first floor kitchen, is the Stoddert addition's second floor. This space consists of two relatively small rooms of unequal sizes. The first, or western, room is the smaller. It has two windows, a door leading to the other room, the stair landing, and a bare wood floor. The larger of the two rooms also has two windows and the upper chimney for the kitchen fireplace below. At one time, a wood stove sat in front of this chimney on a small brick hearth. The access for the stovepipe into the chimney is still visible. Both rooms have plaster walls and wide, random-width wood floors. Early in the addition's history, access from the first floor to the second may have been from another location near the north wall where there is a large patched area in the floor. The two rooms in this area are separated by a wall constructed of very wide, hand-planed, tongue-in-groove boards with a beaded edge. The door between the rooms also is of hand-planed lumber.

The chart that follows contains descriptions and condition assessments of the historic elements in the second floor area as of June 1, 2007. Photographs of the second floor space follow the chart.

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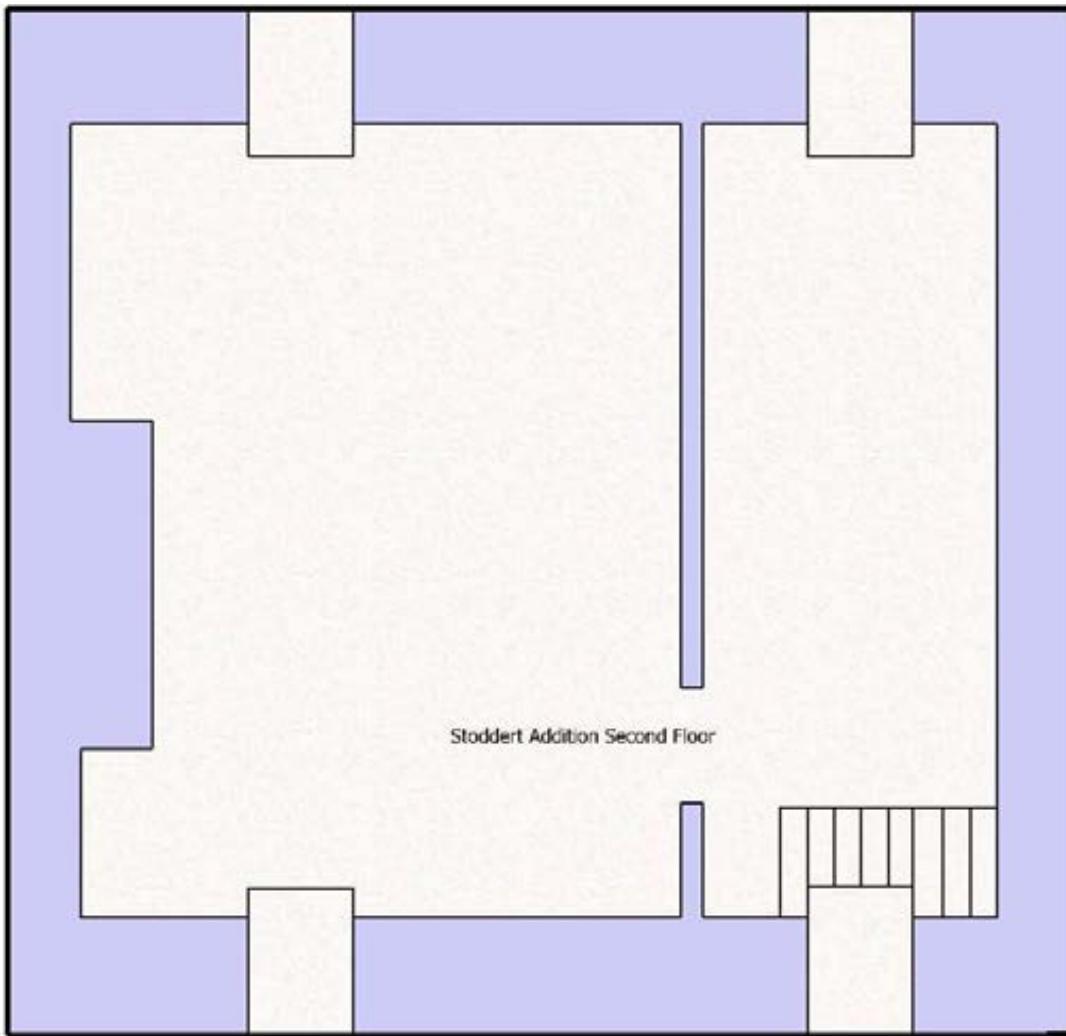


Figure 8-10. Plan showing the second floor of the Stoddert addition. Drawing by Kathleen Manicke.

Chapter Eight: Bostwick's Stoddert Addition

Table 8-2. The Second Floor of the Stoddert Addition.

Location: Kitchen Addition Second Floor					
Item	Date	Size	Description	Condition	Figure #
Windows (4)	20th century	34" W x 52" H	Six-over-six, wooden, double-sash windows.	Fair to poor condition with rot on the lower rail and mullion areas; sills were rotted and have been covered by the last tenant with aluminum flashing to prevent further damage; water continues to leak through these areas and damage the plaster below the windows.	8-13
Window casing	Late 19th to 20th century	1" x 3 3/4"	Architrave-type casing built of flat lumber.	Generally good condition.	8-11 8-13
Flat plaster			Flat plaster on all outside walls and the ceiling; varying degrees of damage because of continued roof leaks, particularly in the area of the dormers.	Fair to poor condition due to moisture infiltration around the dormers leading to degradation of the plaster.	8-11 8-12 8-13 8-14
Wall between rooms			Constructed of wide, hand-planed boards of an unknown variety; boards are tongue-in-groove with a beaded edge; boards used for wall appear to be of a different vintage than those used in the door (edges are planed differently)	Good condition.	8-14

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Table 8-2. The Second Floor of the Stoddert Addition, continued.

Door from south to north room			Constructed of wide, hand-planed boards with battens at the top and bottom; boards are tongue-in-groove with a beaded edge.	Good condition.	
Floor			Wide, random-width boards of an unknown variety.	Good condition; level; finish restored in 2005.	
Chimney and hearth			Chimney protrudes into this space and has been covered with plaster; has access for a wood stove chimney and small brick hearth constructed of what appear to be reproduction antique bricks.	Good condition; interior of chimney cannot be observed from this level; assumed to be in same poor condition as lower level.	

Chapter Eight: Bostwick's Stoddert Addition



Figure 8-11. The leaking dormer on the east wall of the south room on the second floor of the Stoddert addition. Photograph by Kathleen Manicke.

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Figure 8-12. The south room of the Stoddert addition viewed from the stair landing area. Photograph by Kathleen Manicke.

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Figure 8-13. The east window in the larger of the two upstairs rooms in the Stoddert addition. Notice the repairs to the plaster brought about by the leaks in the dormer area. Photograph by Kathleen Manicke.

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Figure 8-14. The chimney area upstairs in the Stoddert addition. Repairs to the plaster were necessitated by moisture infiltration around the chimney and the dormer. Photograph by Kathleen Manicke.

Chapter Eight: Bostwick's Stoddert Addition

Summary

Although there is not a great deal of historic fabric remaining in the Stoddert addition, some items are worth investigating and preserving. Most definitely among these is the fireplace on the structure's north wall. At one time, this was probably where slaves and servants prepared food for the Stoddert family and its guests. Leaks from aging flashing and improperly sealed areas around the chimney are compromising its structural integrity. Large areas of loose, washed, and even missing brick in the interior of the chimney warrant attention. The large, patched area on the second floor should be investigated to see if it was the original access to the second floor. More important, however, is to control the infiltration of moisture into the whole Stoddert addition. Leaks around the dormers and chimney are damaging the plaster, lath, and structural members of this part of Bostwick. These require immediate attention.

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A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Nine:

A Future Use for Bostwick



Chapter Nine: A Future Use for Bostwick

Introduction

Prior to beginning any major efforts related to stabilization and restoration, the town of Bladensburg must determine a use for Bostwick and seek public/private partnerships in order to move Bostwick's restoration forward. This use will in turn shape the level and type of restoration work that is to be done. If Bostwick is to be used as an office complex, it will require different amenities than if the property is used as an historic house museum. It is important to examine both the costs and the benefits of each of the proposed uses of the property.

A Historic House Museum

Many in the community would like to see Bostwick used as an historic house museum, and there are many benefits to this use. It is the best way to preserve both the house and the structure, while providing jobs, albeit ones that require a high level of skill and/or education. Use as a house museum would not prevent Bostwick from being a venue for events such as meetings and weddings. Bostwick as a house museum would provide educational opportunities for children and youth, a particular goal of the Bladensburg town council. A house museum would also be a good way to tell the history of Bladensburg, including the role of the town in the War of 1812 as well as the story of Christopher Lowndes and Benjamin Stoddert. As a museum, Bostwick, with its highly visible site and location close to Washington, D.C., would contribute to increased heritage tourism in Prince George's County.

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There are, however, drawbacks to using Bostwick as a museum. First, there would be the added cost of historical research to determine the history of the house, its owners, and the people who worked there. Costs to restore the building's interior and exterior would be higher than for a rehabilitation. The community might face the loss of the front and rear verandahs if the decision is made to return the main house to its original eighteenth century appearance. In addition, the house lacks an endowment, thus making it difficult to maintain the structure once its restoration is complete and to acquire the collections necessary for a museum. The current town personnel lack the expertise needed to run a museum and would have to hire new employees to fill this need. The construction work would have to be largely completed before the museum could open, thus postponing the time when Bostwick could begin to generate income. Finally, other museums in Prince George's County have closed or are operating on shortened hours because they cannot generate enough income to be sustainable. It is unlikely that Bostwick would fare any better given the history of these other Prince George's County sites.

An African American Cultural Center

Since the history of African Americans at Bostwick is beginning to emerge, some in the community have argued that Bostwick be used as a center for the study of African American culture and genealogy. Because Prince George's County is the largest majority African American county in the country, there are benefits to using the property in this way. Most importantly, it meets a need in the community that is currently unmet. This use

Chapter Nine: A Future Use for Bostwick

provides jobs for construction workers and for those trained in the arts and arts management. A cultural center meets the goal of the council to bring increased educational opportunities to the town's residents. A center is also the best way to tell the story of African Americans at Bostwick and in Bladensburg. The property could also be used as a venue for cultural events in addition to weddings and concerts. Additionally, this use would increase tourism to the area. The structures would not need to be restored to a given period of time, thus preserving both early twentieth century plaster treatments and colonial paneling. In addition, this type of restoration is less costly.

Unfortunately, this use would offer little attraction to the large numbers of Hispanic residents now living in the area. Additional structural reinforcement may be necessary to handle dance studios and other arts uses. In addition, many of the drawbacks to using Bostwick as a history museum also detract from its use as an African American cultural center. Extensive research into the history of African Americans at Bostwick would be time-consuming and costly although it could be done by scholars who have no financial relationship with Bostwick. A cultural center would need an endowment to maintain the building and move its cultural agenda forward. Those currently employed by the town do not have the know-how needed to manage a facility of this kind. Lastly, the restoration would have to be mostly finished before the center could open.

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A Community/Business Center

The Rhodeside and Harwell feasibility study of 2002-03 recommended that Bostwick be used as a center for business gatherings and as a home for local nonprofit groups.¹ This use has much to recommend it. It would complement the residential use planned for 48th Street in the town center redevelopment plan. It would provide a home for nonprofit groups serving the community while generating some rental income. With its Inside the Beltway location, Bostwick could be an ideal meeting center for business people coming from the Washington, Baltimore, and Philadelphia areas. Sited on approximately eight acres, Bostwick is capable of giving visitors the sense that they have “gotten away from it all.” The main house, the kitchen dependency, and the agricultural buildings have ample space to house meeting facilities of various sizes. There is even room to set aside some space for museum displays, a use important to the residents of Bladensburg as well as the council members. The cost of construction would be lower than for a museum. Other businesses such as restaurants and hotels would be more likely to open in the area if a ready-made professional clientele were available. A significant number of jobs would be created in the hospitality sector with this use.

¹ Rhodeside and Harwell.

Chapter Nine: A Future Use for Bostwick

The main drawback to Bostwick as a business retreat center is its location in Bladensburg, a town long viewed as a depressed socio-economic area with its attendant crime problems. In addition, there are no business-quality hotels in the vicinity of the property to house overnight visitors to the meeting center. Restaurants that would appeal to these clients are sadly lacking in the Bladensburg area as well. Finally, restoration work on the facility would have to be completed prior to its use as a business and nonprofit center.

An Educational Facility

With the interest shown by the University of Maryland in using the property as a lab setting for its historic preservation program, some community members believe that an educational facility for the training of historic preservation professionals would be a perfect match for the property. There are many benefits to this proposal. The history of the site would be well-documented by graduate students working under the supervision of highly trained faculty. Site archeology studies could also be completed by students working with a professor. The preservation plan and other reports needed for Bostwick could also be produced by students. All of these would be without charge to the town. Smaller restoration jobs, such as window repair, could be done by the students as part of their conservation class. Again the only charge for these efforts would be the cost of materials. Finally, the University of Maryland could use Bostwick while other, larger projects were being done by a contractor since students need to learn the role contractors play in preservation projects. The community would also benefit from

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having the University of Maryland at Bostwick. Community workshops relating to preservation, such as how to work around lead paint, could be held at Bostwick. The first step toward this use was taken when town and the university officials signed a memorandum of understanding in early 2008. In addition, high school vocational education students could learn the different building techniques used on historic structures.

There are disadvantages to the University's use of the site as a permanent educational facility. The University of Maryland is reluctant to spend its scarce dollars on a property that it does not own and is not contiguous to its campus. The current memorandum is limited to providing expertise in historical research, preservation, and archeology but not much more.² Community and high school programs are still only in the planning stages and may not come to fruition. The University, as a source of restoration money for Bostwick, is simply not a feasible choice.

A New Use for Bostwick

The most viable option at this time is to allow the University of Maryland to go forward with its plans to use Bostwick as a lab for historic preservation. The town would get some much-needed studies done at little or no cost

² Linebaugh.

Chapter Nine: A Future Use for Bostwick

that could be used as a local in-kind match for certain grants. In the interim, the town could go forward with its plans to turn Bostwick into a community/business center. While the planning stages for the center are underway, stabilization and restoration efforts could go forward under the supervision of highly trained university professors and their students.

Public/Private Partnerships

The town of Bladensburg has been successful in the past in setting up a public/private partnership to aid Bostwick. In 2006 the town entered into a partnership with Mier Block Company to provide materials at no cost for Bostwick's restoration. While little work requiring these materials has been done, it is important for the town to seek other such relationships in order to move Bostwick's restoration forward. Partnering with a preservation organization would provide the preservation and construction expertise so desperately needed by the town. There are numerous local civic organizations whose missions deal with preservation or heritage tourism. These include the Anacostia Trails Heritage Area, Port Towns Community Development Corporation, Prince George's Heritage, and the Aman Memorial Trust. Any of these could act as umbrella organizations for fundraising while the Friends of Bostwick pursue their own 503 (c) status. Only two, Prince George' Heritage and the Aman Memorial Trust, have experience in preserving historic structures, and only one of these, the Aman Memorial Trust, has restored historic structures in Bladensburg. The Aman group has preserved the Market Master House, the McGruder

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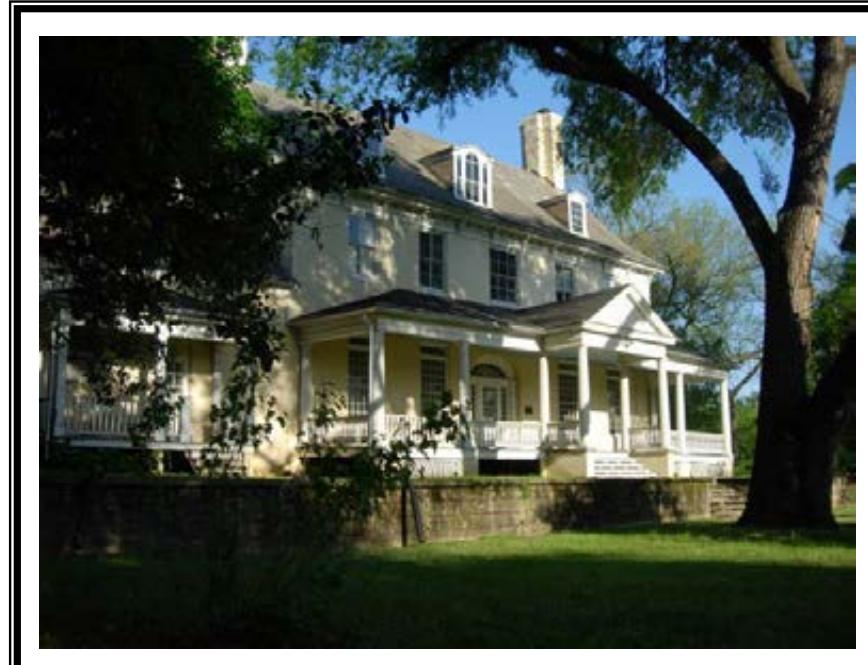
House, and the George Washington House. While the Bostwick project is far larger than any of these, the group could pool their knowledge of the preservation process and their proven fundraising capabilities with that of the University of Maryland program in historic preservation in order assist the town in preserving Bostwick. The town should take the necessary steps quickly to establish such a partnership.

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A Historic Structure Report for Bostwick in Bladensburg, MD

Chapter Ten:

Recommendations and Conclusion



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Restoring a structure such as the main house at Bostwick will not happen quickly or cheaply. Yet, the structure will continue to deteriorate if restoration does not begin soon. The town must continue in its fundraising efforts, enter into a public/private partnership that will help to move the restoration forward, and begin the stabilization of the building. This section of the historic structure report makes recommendations about the scope of work and sequence of recommended repairs at Bostwick. The needed repairs have been placed into four groups that can be done over the next ten years while the town continues to seek funding.

Year One: Mitigating Settling and Moisture Infiltration

- Install and monitor crack meters.
- Monitor moisture infiltration into basement.
- Access the storm water removal system at the site.
- Replace the roofing system on the main block and Stoddert addition to avoid further damage.
- Hire a structural engineer to take soil borings at the southwest corner to determine the cause of the settling.
- Follow the recommendations of the structural engineer to prevent further damage to the colonial era surfaces and painted panels in the south parlor.

Chapter Ten: Recommendations and Conclusion

- Complete the archeological study in the area immediately surrounding the house prior to the installation of a French drain.
- Install a French drain around the foundation walls of the main house and kitchen wing.
- Initiate a cyclical maintenance plan and schedule of tasks.

Year Two: Cellar Access and Structural Repairs

- Open the window wells and rear entry stairs to the basement in order to improve natural lighting, increase cross-ventilation, gain access, and monitor window/door frames for deterioration.
- Hire a structural engineer to investigate and access structural problems in the basement and the attic.
- Follow the recommendations of the structural engineer regarding structural support in both the attic and the basement.
- Follow the recommendations of the structural engineer to mitigate the deflecting floor joists on the first and second stories.
- Analyze architectural surface finishes on the interior to determine both age and original color treatments.
Investigate and access all the panels in the south parlor to determine if any others contain Dieudonne era

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paintings. Hire a qualified conservator to investigate all the Dieudonne panels and make recommendations for conservation treatment.

Years Three to Five: Moisture Infiltration Mitigation, ADA Compliance, and Life Safety Issues

- Update the electrical and plumbing systems as needed for future use.
- Add a fire suppression system to main block and kitchen wing.
- Update the fire and burglar alarms.
- Add an elevator, restroom facilities, and drinking fountains that are accessible to those with handicaps.
- Update and install HVAC as needed.
- Add fire egress for the second and attic floors as required by code.
- Repoint the brick as needed.
- Prime and repaint the brick walls, chimneys, and all exterior trim on the main house, kitchen wing, and buttresses.
- Rebuild and repaint all windows in accordance with accepted preservation standards.

Chapter Ten: Recommendations and Conclusion

Years Six to Ten: Interior Restoration

- Hire historic plaster specialists to investigate and make recommendations regarding the repair of incised paneling, the decorative treatments, and the moldings.
- Make recommended repairs to plaster.
- Select and apply appropriate paint finishes on the interior.
- Select and install appropriate period reproduction lighting.
- Replace the late twentieth century flooring system with random-width boards top-nailed with reproduction forged nails. Investigative probes may reveal the original nailing pattern, which in turn can be used to establish the appropriate choice of board widths for the reproduction flooring system.
- Repair and refinish floors on second level.
- Repair stairs to attic level, rectifying structural and misalignment issues.
- Renovate the attic to adaptive re-use as small offices. Maintain some open structural elements for future study.

Building at Risk

Conclusion

This historic structure report for Bostwick provides the town of Bladensburg with an overview of the history of the building and its inhabitants, lengthy descriptions and condition assessments of all of Bostwick's historic fabric, photographic documentation of the house at the time the report was written, a cost-benefit analysis of different future uses, and a prioritized list of recommendations for future work. The town should immediately begin to use this document in its search for additional funds to finance the restoration and preservation of the structure. Additionally, this document should be provided to all contractors during both planning and construction phases to prevent the loss of historic building fabric. The document can also be used by University of Maryland faculty as they plan student work at the site. Finally, the document can be used by town officials as they plan a future use for Bostwick.

This document provides the information necessary for the town's search for funding. Granting agencies often require both the history and significance of a site under consideration for preservation. This document contains a complete history and explanation of the site's importance as a cultural landmark. It also documents the significance of the structure itself as an archeological record of building methods in the colonial period and as a living example of the changing tastes in interior decoration over the two and a half centuries of the houses' existence.

Chapter Ten: Recommendations and Conclusion

This document contains an itemized depiction of the conditions of every piece of historic material in this house. By providing this document to all contractors and keeping a copy on site, the town can protect the structure from over-zealous contractors who, in their haste to “get the job done,” may remove or destroy what needs to be saved. The document should also be provided to the architects who will plan and oversee Bostwick’s preservation. They need such a document in order to plan for the building’s restoration.

The need for the town’s immediate use of this document is obvious. The structure continues to deteriorate and much of the precious historic fabric could be irreparably damaged by collapse or moisture infiltration. The town can no longer prevaricate as it attempts to decide which project to do, in what order, and at what time. This report provides a detailed scope and sequence based on sound historic preservation practice. The report even provides a cost-benefit analysis of a variety of future uses to help the town’s staff and its elected officials convince the local populace of the importance of preserving Bostwick and how this preservation can enhance the local economy. Hopefully, this document will serve as a spur to get the restoration of Bostwick officially underway.

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A Historic Structure Report for Bostwick in Bladensburg, MD

Sources for Further Research



Sources for Further Research

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